

typical abbreviations

@	at	h.b.	hose bib	s.o.g.	slab on grade
dia	diameter	h.c.	hollow core	spec.	specification
#	pound	hdr.	header	s.s.	stainless steel
±	plus or minus	hdwd.	hardwood	std.	standard
		h.m.	hollow metal	stl.	steel
abv.	above	horiz.	horizontal	stor.	storage
acc.	access	h.p.	high point	struc.	structure
acous.	acoustic	ht.	height	susp.	suspended
a.d.	area drain	hr.	hour	sym.	symmetrical
adj.	adjacent	hvac	heating/ventilating/air conditioning		
a.f.f.	above finish floor			t	tread
alt.	alternate			t.b.	towel bar
alum.	aluminum	i.d.	inside diameter	t.c.	top of curb
approx.	approximately	in.	inch	tel.	telephone
arch.	architectural	insul.	insulation	temp.	tempered
		int.	interior	ter.	terrazzo
				t&g	tongue and groove
bd.	board	j.b.	junction box	t.g.	tempered glass
bdg.	building			thk.	thick
blk.	blocking	lam.	laminate / laminated	t.o.	top of
bm.	beam	lav.	lavatory	t.o.w.	top of wall
b.o.	bottom of	l.f.	linear feet	t.p.h.	toilet paper holder
bot.	bottom	loc.	location	typ.	typical
		l.p.	low point	u.n.o.	unless noted otherwise
		lt.	light		
cab.	cabinet	m.o.	masonry opening	v.c.t.	vinyl composition tile
c.b.	catch basin	manuf.	manufacturer	ven.	veneer
cem.	cement	max.	maximum	vert.	vertical
cer.	ceramic	m.b.	machine bolt	v.i.f.	verify in field
c.i.p.	cast in place	m.c.	medicine cabinet	vfy.	verify
c.j.	control joint	mdo	medium density overlay		
cl.	closet	mech.	mechanical	w.	west
clr.	clear	memb.	membrane	w.c.	water closet
clg.	ceiling	min.	minimum	wd.	wood
cmu	concrete masonry unit	misc.	miscellaneous	w.f.	wide flange
conc.	concrete	mtd.	mounted	w.h.	water heater
cont.	continuous	mtl.	metal	w.l.	water line
corr.	corridor	mull.	mullion	w.in.	window
cpt.	carpet	n.	north	w.s.	weather strip
csmt.	casement window	n/a	not applicable	w/	with
c.t.	ceramic tile	n.i.c.	not in contract	w/o	without
ctr.	center	no.	number	w/d	washer / dryer
		n.t.s.	not to scale	w.r.b.	weather-resistive barrier
dbl.	double	o.a.	overall		
demo.	demolish	o.c.	on center		
det.	detail	o.d.	outside diameter		
dia.	diameter	off.	office		
dim.	dimension	o.h.	overhang		
dn.	down	opng.	opening		
d.o.	door opening	op.hd.	opposite hand		
dr.	door				
d.s.	downspout	perf.	perforated		
d.w.	dishwasher	perp.	perpendicular		
dwg.	drawing	pic.t.	picture window		
		pl.	plate		
e.	east	p-lam.	plastic laminate		
ea.	each	plas.	plaster		
el.	elevation	plywood	plywood		
elec.	electrical	pnl.	panel		
encl.	enclosure	pr.	pair		
eq.	equal	pt.	point		
equip.	equipment	p.t.	pressure treated		
est.	estimate	ptd.	painted		
(e)	existing	ptn.	partition		
exist.	existing				
exp.	expand / expansion	r	riser		
expo.	exposed	r.a.	return air		
ext.	exterior	rad.	radius		
		r.b.	rubber base		
f.d.	floor drain	r.d.	roof drain		
f.e.	fire extinguisher	ref.	refrigerator		
f.f.	finish floor	rein.	reinforced		
f/f	finish to finish	rem.	remainder		
f.g.	fixed glass	req.d.	required		
fin.	finished	resil.	resilient		
flash.	flashing	rev.	revision		
flr.	floor	rgtr.	register		
fluor.	fluorescent	r.h.	right hand		
fld.	foundation	rm.	room		
f.o.	face of	r.o.	rough opening		
f.o.c.	face of concrete	r.v.p.	radon vent pipe		
f.o.f.	face of finish	r.w.l.	rainwater leader		
f.o.i.c.	furnished by owner, installed by contractor				
f.o.m.	face of masonry	s.	south		
f.o.s.	face of stud	s.a.f.	self-adhered flashing		
f.p.	fireplace	s.a.m.	self-adhered membrane		
fr.	frame	s.c.	solid core		
frpt.	fireproof	s.d.	smoke detector		
frzr.	freezer	sched.	schedule		
ft.	foot / feet	sect.	section		
furr.	furring	s.g.	safety glass		
fut.	future	sh.	shelf		
f.w.	full width	shwr.	shower		
		sht.	sheet		
		sht.mtl.	sheet metal		
g	gas	shtg.	sheathing		
ga.	gauge	s.f.	square foot / feet		
galv.	galvanized	sq.in.	square inch		
g.c.	general contractor	sim.	similar		
g.l.	glass				
g-lam.	glue-lam				
gr.	grade				
g.w.b.	gypsum wallboard				
gyp.	gypsum				

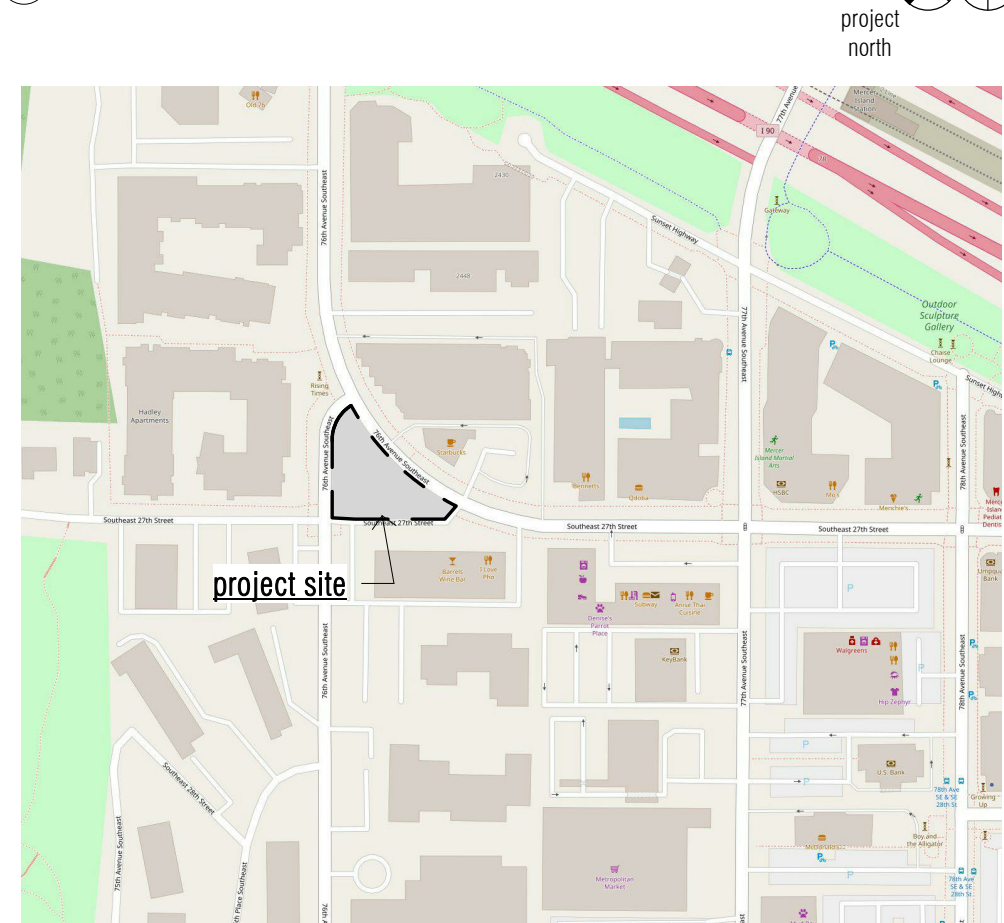
typical drawing symbols

	construction assembly type		section tag
	window number		elevation tag
	door number		structural grid line
	finish type		elevation level tag
	revision reference (only most-recent revision shown)		spot elevation tag
	clouded, symbols of previous revisions remain, date of revision indicated on titleblock)		slope tag (x:y)
	exhaust fan		
	smoke detector		
	combination smoke and carbon monoxide detector		

typical material symbols

	undisturbed earth		metal
	disturbed earth		wood blocking / shim
	gravel		wood framing
	sand, mortar, plaster		plywood
	concrete		batt insulation
	brick / cmu		rigid insulation

vicinity map



general notes

General Conditions

- All work shall comply with all applicable codes and ordinances. Any conflicts between the codes and the construction documents shall be immediately brought to the Architect's attention.
- The Contractor shall be familiar with all mechanical, plumbing, and electrical work on the project. The Contractor shall provide all necessary shafts, openings, bases, curbs, blocking, and structural supports for ducts, conduit and equipment as required.
- The Contractor shall provide all items, materials, articles, operations and/ or methods listed or scheduled on the drawings including all labor, materials, equipment and incidentals necessary and/ or required for completion of the work.
- Prior to the start of construction, the Contractor shall provide the Owner and Architect with a construction schedule, submittal schedule, and a schedule of values for the work to be performed.
- All mechanical, electrical, and plumbing work shall be completed under separate permits, and in compliance with all applicable codes and ordinances. Submit cut sheets or samples of any equipment that will be visible from the finished space to the Owner and Architect for approval prior to installation. Any visible mechanical equipment not submitted and approved may be subject to removal.
- The Contractor shall provide all shoring, bracing, and barricading necessary and as required by codes, to ensure the structural stability of the building and the safety of all who enter the job site during construction.
- The Architect will not be responsible for determining construction means, methods, techniques, sequences or procedures, or for safety precautions or programs in connection with the work. The Architect will not be responsible for any failure of the contractor to complete the work in accordance with the contract documents. The Architect will not be responsible for the acts or omissions of the contractor, sub-contractors, any of their agents or employees, or any other persons performing any of the work.
- The Contractor shall verify all existing conditions and dimensions, and notify Architect of any discrepancy or uncertainty.
- The Contractor shall have a preconstruction meeting with Owner, Architect, and major Sub-contractors prior to the start of the work.
- Do not scale drawings. Written dimensions take precedence over scaled dimensions. Details take precedence over general conditions.
- Existing dimensions are to face of finish & new dimensions given are to face of framing unless otherwise noted.**
- No change in scope or intent of the work shall be made without approval of the Architect and Owners. Any work completed which deviates from intended scope without prior approval can be rejected and subject to removal and replacement at the Contractor's expense.
- Floors and walls are to be finished under and behind casework and equipment, except as specifically shown otherwise on the drawings.
- Shop drawings, submittals and/or material samples shall be prepared and reviewed for conformance with the Contract Documents by the Contractor and submitted to the Architect for review. Allow 10 working days for Architect's review. Send at least three copies of every submittal, more if Contractor or Sub-contractors need multiple copies. Every effort will be made to turn submittals around as quickly as possible.

The following submittals are required:

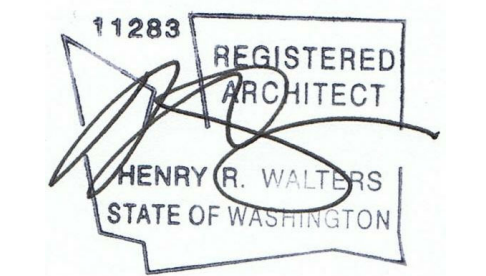
 - All finish materials, including paint colors
 - Casework, custom furniture and installations
 - Doors, Windows, and Frames
 - Hardware, fittings and fixtures
 - All visible HVAC equipment (cut sheets OK)
 - All visible electrical equipment (cut sheets OK)
 - All paint and finish samples must be approved by Owners. Roll-out a 4' x 4' section of each wall paint color in the space and paint a 6' length of all trim pieces for Owner approval prior to purchase of full paint order. Do not proceed with painting until these roll-outs are approved.
- Alternatives and substitutions to drawings and specifications may be acceptable, but must be approved by the Architect and Owner. Any item substituted without approval may be subject to removal. Any alternatives or substitutions must be compliant with applicable building and energy codes.
- Contractor shall verify locations of wall mounted accessories and backing for accessories with Owner prior to closing of the walls.
- Contractor shall provide the necessary containers for trash removal and keep the work area reasonably clean at all times.
- During demolition and construction the Contractor shall protect all new work and existing work to remain, including surfaces, building components, and landscape. Damage or disturbance to existing to remain building or landscape elements shall be promptly restored, repaired, or replaced to match existing at no cost to the Owners.
- The Contractor shall be responsible for the removal of all debris from wall and joist spaces before enclosure, from crawl and attic spaces before completion, and from the site before substantial completion.
- Upon completion of the work, the Contractor shall complete a thorough cleaning and touch-up of any marked or damaged materials or surfaces in the area of work and in any other areas of the building affected during construction.

MEP deferred submittals

- mechanical permit under deferred submittal
 - hvac plans and equipment schedules
- electrical permit under deferred submittal
 - reflected ceiling plan
- plumbing permit under deferred submittal
 - plumbing plan and fixture schedules

project information

tenant:	ASA Mercer Island, LLC
address:	2690 76th ave SE #101 mercier island, WA 98040
project description:	tenant improvement to establish a cocktail bar in an existing retail space in the mercier island downtown core. scope of work to include interior renovations and minor exterior improvements, involving the replacement of existing storefront glazing, the addition of new folding glass doors, and the modification of an existing door and window to meet operational needs.
parcel number:	531510-1506
legal description:	MC GILVRAS ISLAND ADD POR 5-6 SWLY OF NORTH MERCER WAY LESS RD Plat Block: 18 Plat Lot: 5-6
zoning:	TC-5
lot area:	8,450 sf
building footprint:	1,896 sf
tenant area:	668 sf
construction type:	V-B unsprinklered
existing use:	office (B) / retail (M)
proposed use:	restaurant (B per IBC 303.1.1)
pre-application meeting:	PRE21-060
setbacks:	existing (no change)
building height:	existing (no change)
landscaping:	existing (no change)
parking:	existing (no change); parking stalls to be shared between Engel & Volkers and ASA. compatible hours of operation per MICC 19.11.130B.e.ii



Permit / Design Review Intake 05.05.2022



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pre-submittal # PRE21-060

ASA
2690 76th Ave SE #101
Mercer Island, WA 98040

a0.1
project information

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restaurant menu

special processes
restaurant will use no special processes

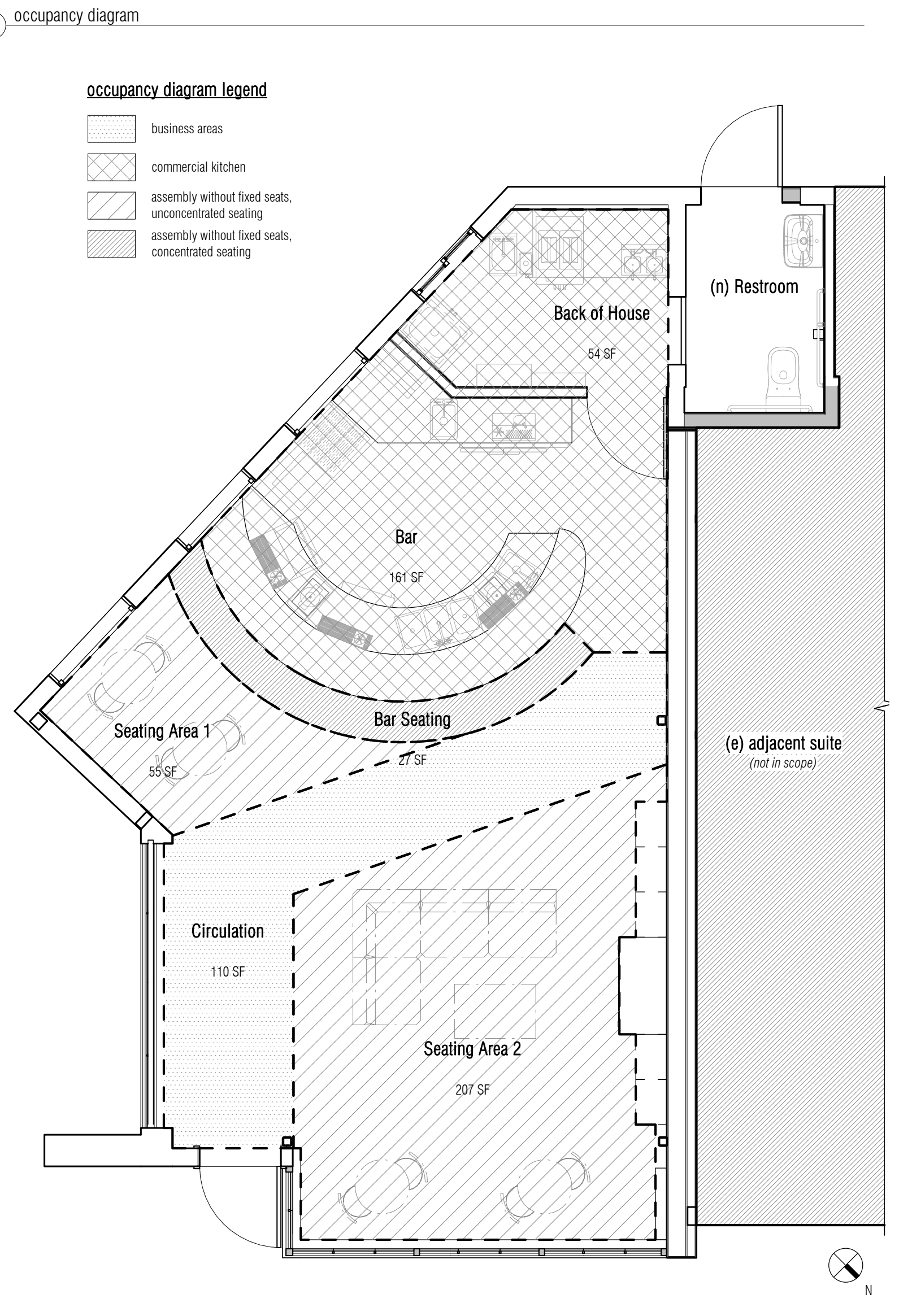
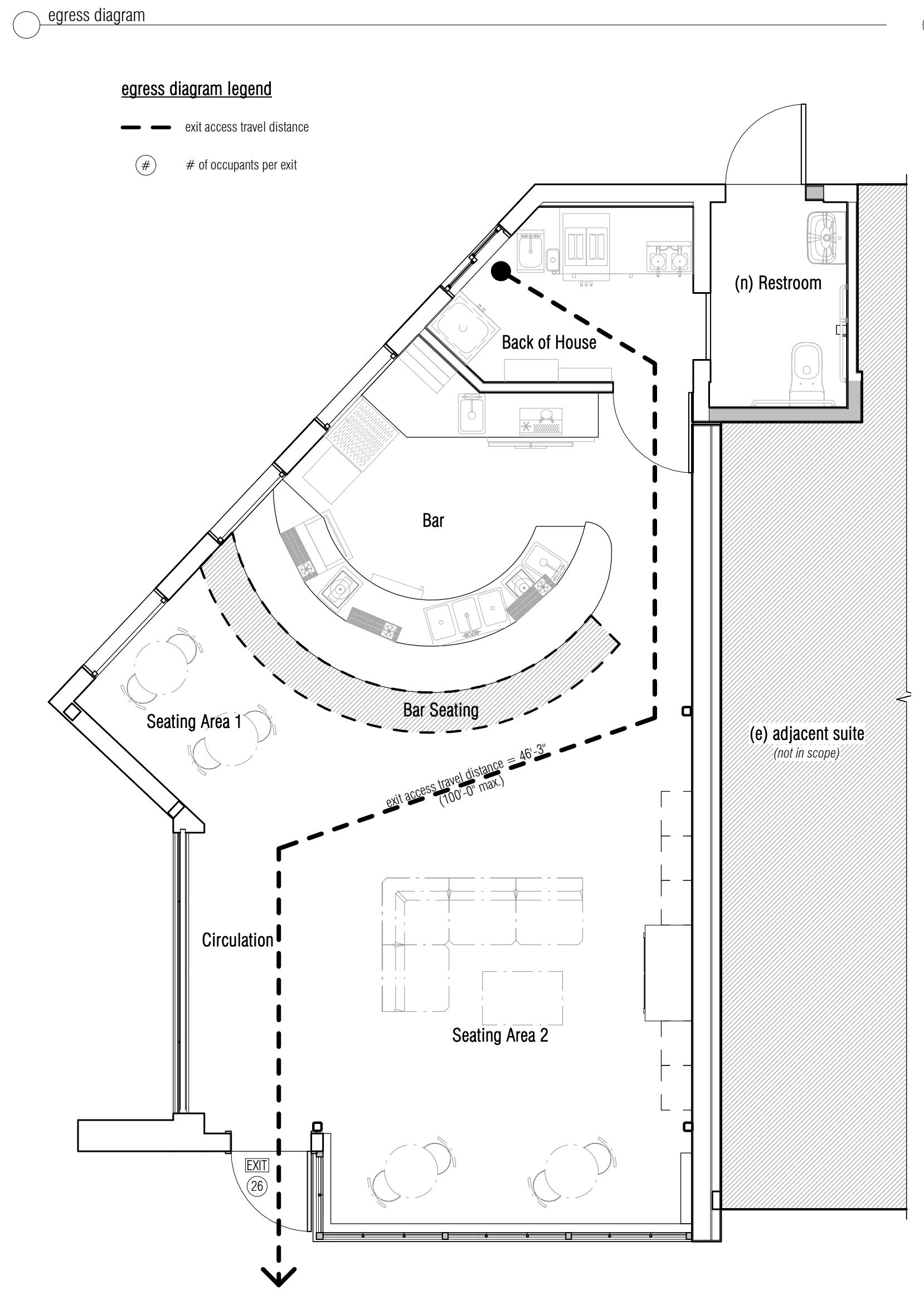
menu

- ASA Smoked Salmon Poke Waffle & Rice Bowl
- ASA Spicy Tofu Waffle & Rice Bowl
- ASA Smoked Tri-Tip Waffle & Rice Bowl
- ASA Smoked Oysters Waffle & Rice Bowl
- ASA Smoked Chicken Waffle & Rice Bowl
- ASA Fried Chicken Waffle & Rice Bowl
- ASA Lavender Flavored Popcorn Bowl
- ASA Standard Charcuterie Plate
- ASA Vegan Charcuterie Plate
- ASA Cheddar Tortilla Chips w/ Pico De Gallo
- ASA Vanilla, Chocolate, Swirl Waffle Cone

restaurant operations

hours of operation:

sunday	5:00 pm - 10:00 pm
monday	5:00 pm - 10:00 pm
tuesday	5:00 pm - 10:00 pm
wednesday	5:00 pm - 10:00 pm
thursday	5:00 pm - 10:00 pm
friday	5:00 pm - 12:00 am
saturday	5:00 pm - 12:00 am



occupancy load calculations

Location	Occupancy Type	Load Factor	Area Type	Area	# of Occupants
Bar Seating	Assembly without fixed seats, Concentrated (chairs only)	7 SF	Net	27 SF	4
Seating Area 1	Assembly without fixed seats, Unconcentrated (tables and chairs)	15 SF	Net	55 SF	4
Seating Area 2	Assembly without fixed seats, Unconcentrated (tables and chairs)	15 SF	Net	207 SF	14
Circulation	Business areas	150 SF	Gross	110 SF	1
Back of House	Kitchens, commercial	200 SF	Gross	54 SF	1
Bar	Kitchens, commercial	200 SF	Gross	161 SF	1
Total Occupancy:					25

plumbing fixture calculations

bathroom calculations

occupancy	# occupants
restaurant / bar (IBC 2902.2 exception 4)	25

water closets

load factor -	total required WC	total provided
1 per 30	1	1

lavatories

load factor - total occupancy	total required lav	total provided
1 per 30	1	1

finish schedule

floors:		walls:	
kitchen:	black rubber mats over sealed concrete	kitchen & restroom:	tile or FRP
bar & dining:	sealed concrete	all else:	new paint on gwb walls
restroom:	sealed concrete	paint:	gloss or semi-gloss in food areas
baseboards:		ceilings:	
kitchen & bar:	rubber or tile cove base trim	kitchen & bar:	existing exposed ceiling, no plumbing over food prep area
restroom:	rubber or tile cove base trim	restroom:	existing gwb ceiling, painted
all else:	painted wood base trim		

applicable codes

2018 international building code	state environmental policy act (SEPA)	all work to conform to the IFC (2018 edition), provide smoke detectors per IFC 2018.
2018 international mechanical code	mercier island land-use/zoning code	
2018 national fuel gas code	ICC/ANSI A117.1-2009 accessibility	
2018 uniform plumbing code		
2017 national electrical code		
2018 washington state energy code	* washington state amendments to codes listed	
2018 international fire code		
2018 stormwater code		

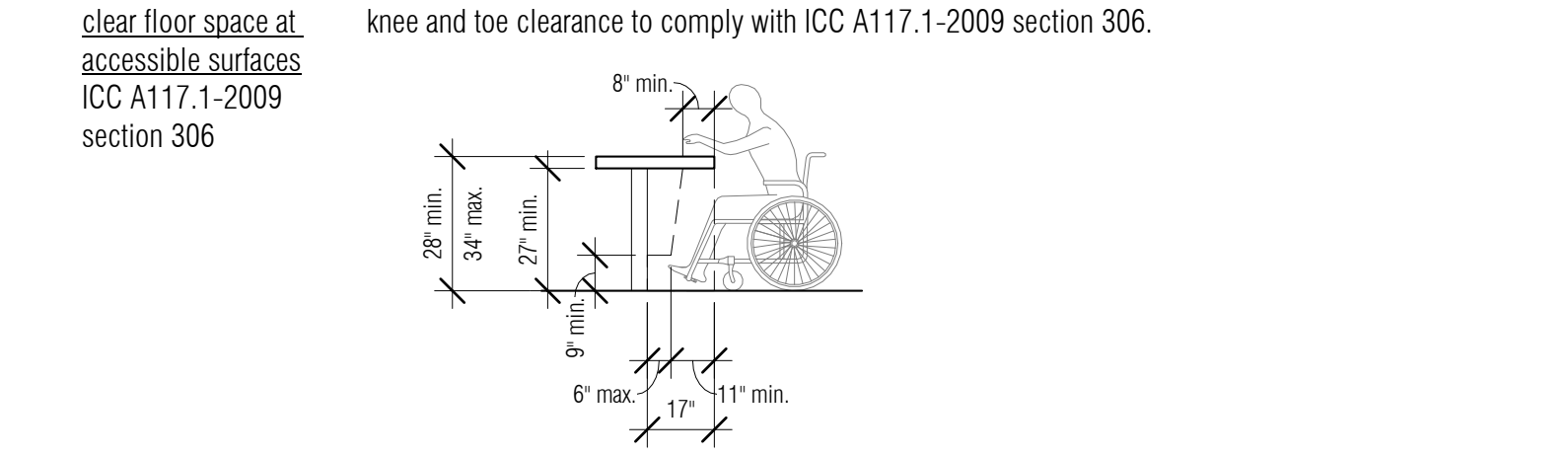
additional code notes

occupancy
IBC 303.1.2.1 a room or space used for assembly purposes with an occupant load of less than 50 persons shall be classified as a Group B occupancy.

egress
IBC 1006.2.1 100 ft max, B occupancy (without sprinkler system)

dining areas
IBC 1108.2.9.1 min. 5% (but not less than 1) of dining surfaces for the seating and standing spaces shall be accessible, located on an accessible route, and distributed through the facility.

total seating: 16 x 5% = 1 accessible seats required, provided



restrooms
separate facilities
IBC 2902.2 exception 4 separate facilities shall not be required in spaces primarily used for drinking or dining with a total occupant load, including both employees and customers, of 30 or fewer.

energy code notes

alterations, general
WSEC C503.1 alterations to any building or structure shall comply with the requirements of section C503 and the code for new construction. alterations to an existing building, building system or portion thereof shall conform to the provisions of this code as they relate to new construction without requiring the unaltered portions of the existing building or building system to comply with this code.

exception: the following alterations need not comply with the requirements for new construction provided the energy use of the building is not increased:

- existing ceiling, wall or floor cavities exposed during construction provided that these cavities are insulated to full depth with insulation having a minimum nominal value of R-3.0 per inch installed per section C402.
- construction where the existing roof, wall or floor cavity is not exposed.
- roof recover.
- air barriers shall not be required for roof recover and roof replacement where the alterations or renovations to the building do not include alterations, renovations or repairs to the remainder of the building envelope.
- replacement of existing doors that separate conditioned space from the exterior shall not require the installation of a vestibule or revolving door, provided however that an existing vestibule that separates a conditioned space from the exterior shall not be removed.

change in space conditioning
WSEC C503.2 any low energy space in accordance with section C402.1.1.1 that is altered to become conditioned space or semi-heated space shall be brought into full compliance with this code. any semi-heated space in accordance with section C402.1.1.2 that is altered to become conditioned space shall be brought into full compliance with this code.

building envelope
WSEC C503.3 new building envelope assemblies that are part of the alteration shall comply with sections C402.1 through C402.5 as applicable.

roof replacement
WSEC C503.3.1 roof replacements shall comply with table C402.1.3 or C402.1.4 where the existing roof assembly is part of the building thermal envelope and contains insulation entirely above the roof deck.

replacement fenestration
WSEC C503.3.2.1 where some or all of an existing fenestration unit is replaced with a new fenestration product, including sash and glazing, the replacement fenestration unit shall meet the applicable requirements for u-factor and SHGC in table C402.4.

exception: an area-weighted average of the U-factor of replacement fenestration products being installed in the building for each fenestration product category listed in table C402.4 shall be permitted to satisfy the u-factor requirements for each fenestration product category listed in table C402.4. individual fenestration products from different product categories listed in table C402.4 shall not be combined in calculating the area-weighted average u-factor.

skylight area
WSEC C503.3.3 the addition of skylights that results in a total building skylight area less than or equal to that specified in section C402.4.1 shall comply with section C402.4.

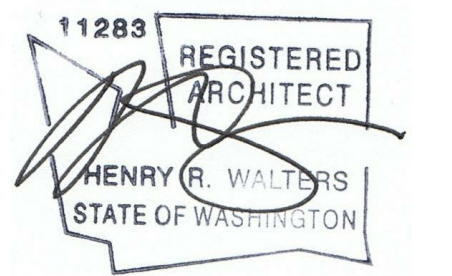
mechanical systems
WSEC C503.4 those parts of systems which are altered or replaced shall comply with section C403. additions or alterations shall not be made to an existing mechanical system that will cause the existing mechanical system to become out of compliance. all new mechanical systems in existing buildings shall comply with Section C403.

service hot water systems
WSEC C503.5 new service hot water systems that are part of the alteration shall comply with Section C404.

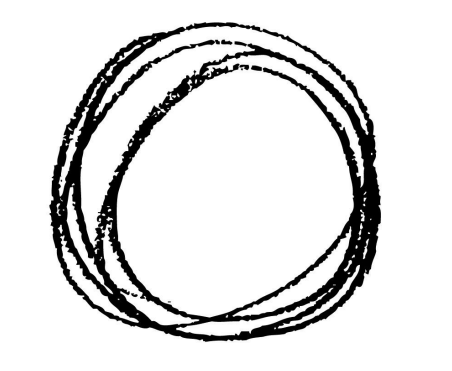
lighting
WSEC C503.6 alterations or the addition of lighting, electric receptacles and motors shall comply with sections C503.6.1 through C503.6.6.

energy table (WSEC C402)

zone	fenestration u-factor max	skylight u-factor max	roof R-value	wood framed wall R-value	mass wall R-value	slab-on-grade R-value
marine 4	fixed: 0.38 operable: 0.40 entrance doors: 0.60	0.50	R-38 ci min.	R-21 int. or R-15+5ci std. min.	R-9.5 ci	unheated: R-10 for 24" blw. heated: R-10 perimeter & under entire slab



Permit / Design Review Intake 05.05.2022



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presubmittal # PRE21-060

ASA
2690 76th Ave SE #101
Mercer Island, WA 98040

a0.2
code information

design review project narrative

ASA, the tenant, would like to open a cocktail lounge within the approx. 668 sq ft ground floor commercial space located at 2690 76th Ave SE, #101, which is adjacent (& attached) to the Engel & Volkers real estate office.

the single-story building, shared with Engel & Volkers, is constructed of load-bearing CMU perimeter and demising walls, with a wood-framed flat roof. interior non-load bearing walls are constructed of wood.

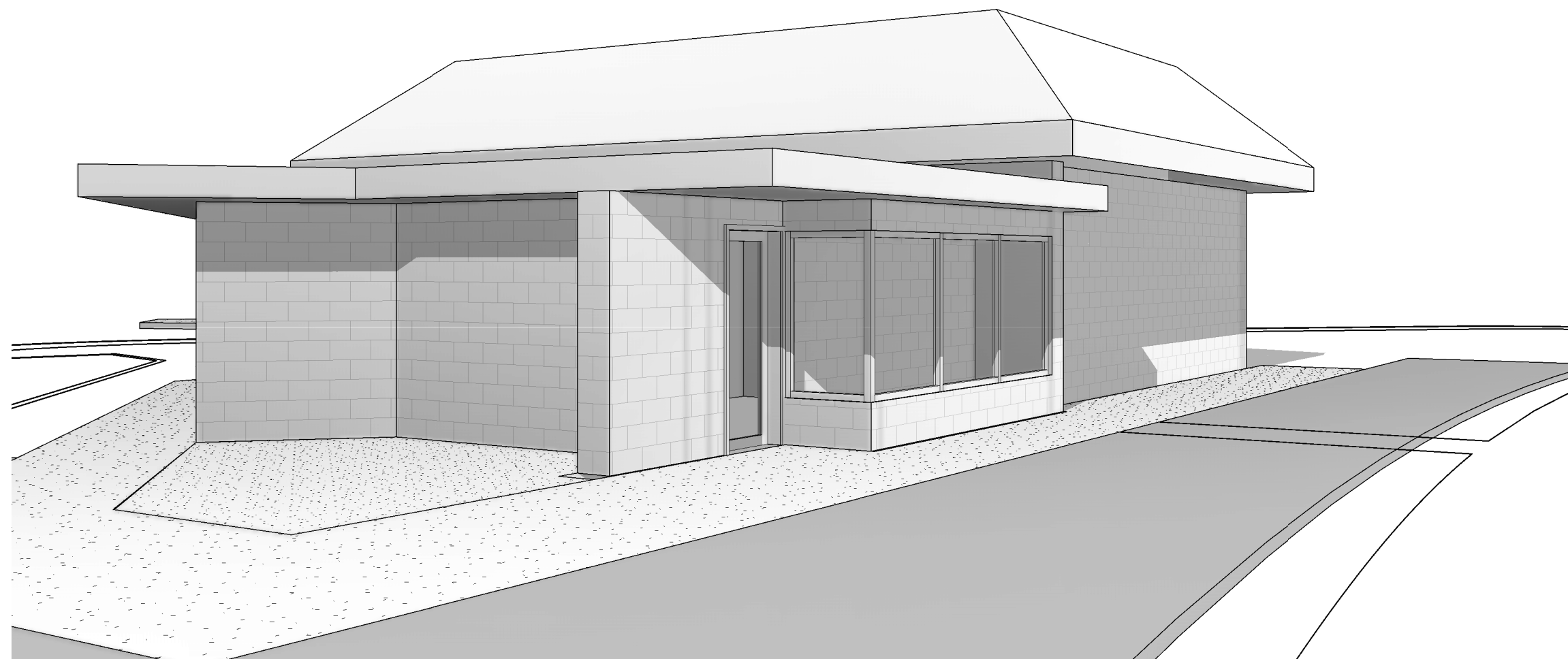
the tenant wishes to build a cocktail lounge within the existing footprint of the space. however, they would like to open up the perimeter CMU walls to allow more natural light into the space and create a point of visual activation on the street level. doing so will require removing portions of the existing CMU wall and reinforcing with beams to put in a new folding glass door system. additional exterior improvements involve replacing the existing storefront in the existing opening, as well as minor modifications to an existing door and window.

one new restroom is proposed (per IBC 2902.2 exception 4), to be primarily accessed from the exterior, a unique curved bar is proposed for the interior, with the rest of the space functioning as comfortable lounge seating. the existing electrical panels are cost-prohibitive to relocate and will remain in what will become the back of house space for the cocktail lounge.

a change of use/occupancy is necessary and less than 50 occupants are calculated for the new space. therefore, a 2nd exit and fire sprinklers are not required.

parking for the evening cocktail lounge shall be shared with Engel & Volker's existing on-site day parking, since the business hours of both businesses will be different.

existing - exterior view



proposed - exterior view



design review submittal requirements

1. completed pre-application
2. development application sheet
3. project narrative
4. title report - waived Tim McHarg email 03.23.2022
5. development plan set
6. critical area study - waived Tim McHarg email 03.23.2022
7. arborist report - waived John Kenney email 03.24.22
8. SEPA checklist - waived Tim McHarg email 03.23.2022
9. transportation concurrency application/certificate - less than 10 trips generated, exempt
10. fees

development and design matrix

mercator island development and design standards

19.11.010 general

d. design vision

1. **development and design standards**
opening more of the building to the sidewalk offers opportunity for storefront activation and pedestrian permeability that does not currently exist at this space. the shared parking agreement allows for parking to leave the storefront access areas unobstructed by vehicles. the site already functions as a through-block connection, so creating an actively hub will increase this function. modulation and activated storefronts are distinctly a priority of the proposed work.
2. **function**
this project deliberately reinforces the objective of a vibrant, healthy, mixed-use downtown. this project will reinforce the existing mixed-use pedestrian environment while also continuing progress toward a dynamic town center core by providing an evening cocktail lounge, which is currently an amenity that is not readily available.
3. **site features**
creating significantly more transparent storefront that is an appropriate scale for the existing structure will provide a welcoming environment for encouraging pedestrian engagement on the street level.
4. **pedestrian orientation**
the function of this project intends to create a welcoming pedestrian environment that will allow this unique parcel to be more than a cross-block connection between existing retail and offices spaces and available parking.

e. scale

this project is in an existing building that is already oriented toward the public right of way. newer development has taken advantage of the 5-story zoning, the scale of the building and related services are at a pedestrian scale, providing some necessary variation in the overall built environment scale.

f. form

the existing building provides height and storefront modulation that creates pedestrian-scale variability and distinction between the uses of both tenant spaces in the building. an existing higher roof on half of the building creates a visual monument for the location of the space while the lower flat roof over the tenant space creates a nod toward pedestrians on the street.

g. style

creating new visibility into the tenant space only further benefits the existing building. providing visual activation and modulation of a blank facade enhances the curb appeal of the existing structure.

19.11.015 town center subareas

TC-5 subarea. the purpose of the TC-5 subarea is to create a focused mixed use core, oriented toward pedestrian connections and regional transit access. a broad mix of land uses is allowed. buildings may be up to five stories in height.

enhancing the facade, facilitating visual street-level activation brings this building further into compliance with the vision that the city of mercator island has for the town center downtown area. the modifications to this building work toward an enhanced pedestrian-level experience in the downtown core.

19.11.020 - land uses.

proposed use, bar, is permitted under TC-5 zoning

19.11.030 - bulk regulations.

existing building is in compliance with TC-5 massing requirements

19.11.040 - affordable housing.

affordable housing not pertinent to this site and use

19.11.050 - green building standards.

existing building, not applicable

19.11.060 - site design.

existing site design to remain. no site elements are proposed to be modified with this scope of work, except for a small existing tree to be removed as it is currently located in front of the proposed folding glass doors (see site plan). there is a small hardscape area that functions as an outdoor patio, with a pedestrian shortcut to reach parking and other retail through the space. this connection is proposed to be left as-is.

19.11.070 - greenery and outdoor spaces.

existing greenery and outdoor spaces to remain. no site work is proposed under this scope of work

19.11.080 - screening.

no new site elements that will require screening compliance.

19.11.090 - lighting.

this space intends to provide a softly illuminated space that is a visual activation cue at the street-level. providing visual transparency and articulating doors and windows as to delineate clear entry points will create a sense of cohesion between this project and the adjacent pedestrian right of way. the primary intent of the exterior work for this project is to create a cohesive and pleasant building facade that activates street use and integrates well into the pedestrian right of way. this project will be utilizing the proposed folding glass doors to create a sense of openness.

19.11.100 - building design.

1. fenestration
 - a. transparent facades
 - b. ground floor window and doors
2. street facing facade elements
 - a. window and door treatments to embellish facade
 - b. decorative light fixtures
 - c. unique design elements

opening the visibility of the building facade at street level is a primary objective of the improvements for this space. visual and pedestrian permeability are highly prioritized in our proposed design.

utilizing an transparent and visibly active storefront, door, and proposed folding glass doors will designate this space as a unique and interesting building that is cohesive and welcoming. utilizing soft and decorative lighting features will provide a sense of place and a memorable reference point to the town center.

19.11.110 - materials and color.

existing finishes are intended to be maintained for continuity and to embellish the architectural details directly pertaining to the fenestration and doors. high quality systems are intended to be installed along with understated wall material finish and color.

19.11.120 - street standards.

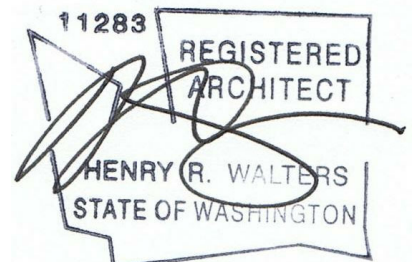
no implications regarding street improvements or changes pertain to the scope of this project.

19.11.130 - parking, vehicular and pedestrian circulation.

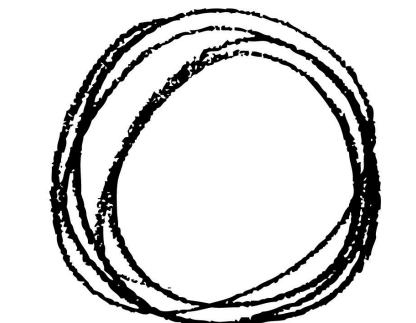
no modification to parking or vehicular traffic are proposed in this project. the site of this project currently functions as an important pedestrian connection that we believe will be enhanced by a project that activates and orients itself toward the street level.

19.11.140 - signs.

understated and high quality signage is intended to compliment the design choices for this tenant improvement and building improvement. signage will complement the soft-lighting approach and will be proportional to the building storefront and facade.



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a0.3
design review information

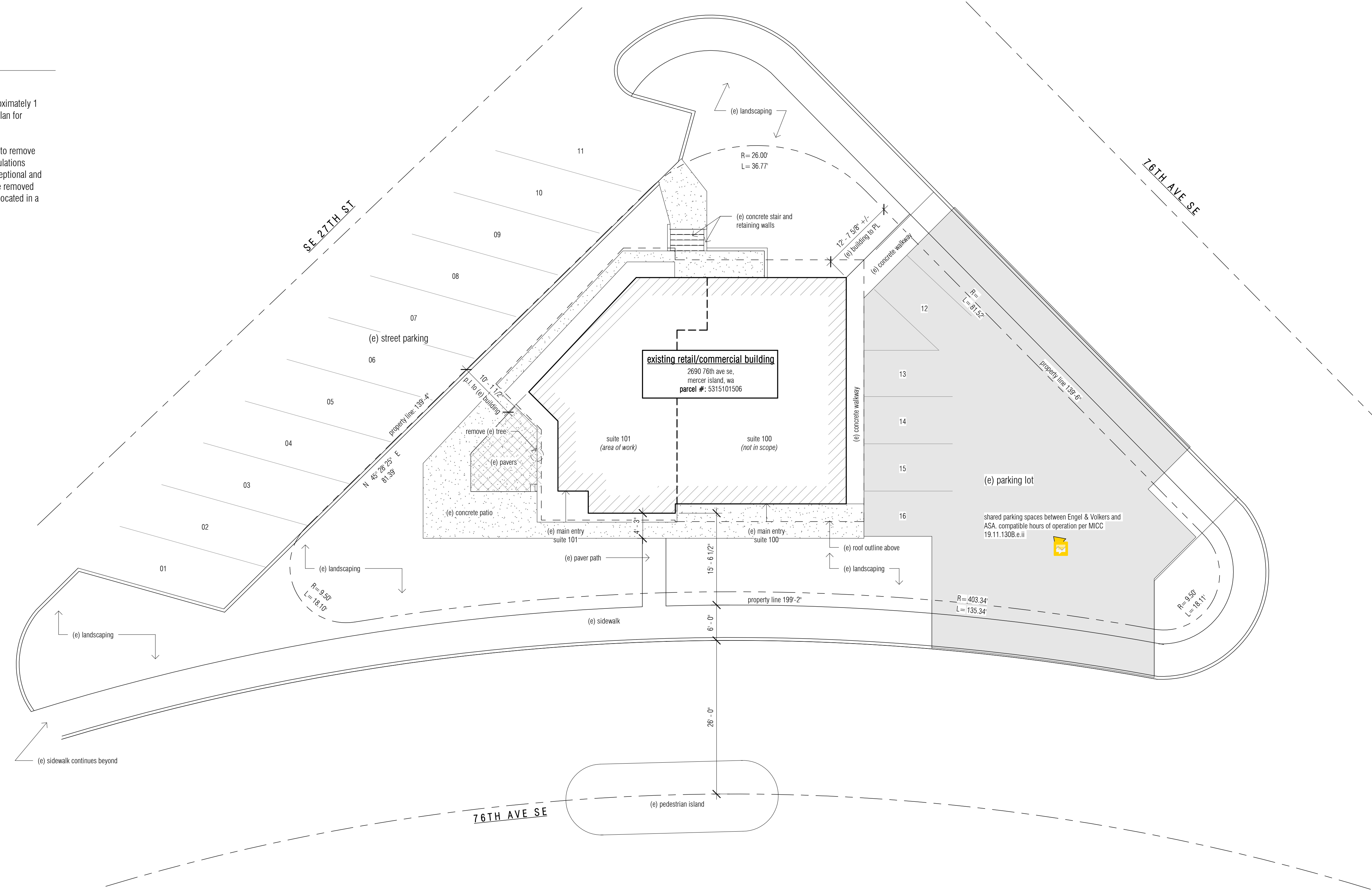
site information

tenant: ASA
 project address: 2690 76th ave se #102 mercer island, wa 98040
 project description: tenant improvement to establish a cocktail bar in an existing retail space in the mercer island downtown core. scope of work to include interior renovations and minor exterior improvements, involving the replacement of existing storefront glazing, the addition of new folding glass doors, and the modification of an existing door and window to meet operational needs.
 parcel number: 531510-1506
 building name: MC GILVRAS ISLAND ADD POR 5-6 SWLY OF NORTH MERCER WAY LESS RD
 legal description: PLat Block: 18 Plat Lot: 5-6
 zoning: TC-5
 lot area: 8,450 sf
 tenant area: 668 sf

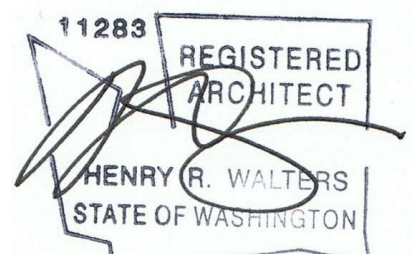
tree removal



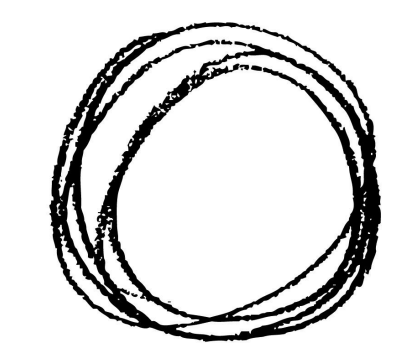
tree to be removed is approximately 1 1/2" in diameter. see site plan for location.
 a permit is not be required to remove the tree; mercer island regulations allow trees that are not exceptional and under 10" in diameter to be removed without a permit when not located in a critical area.



1 site plan
 1" = 10'-0"



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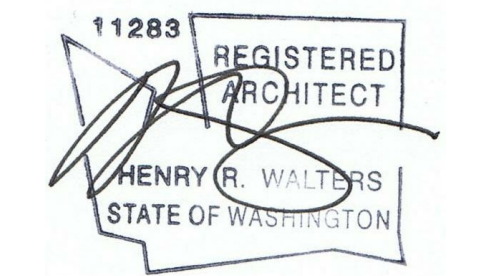
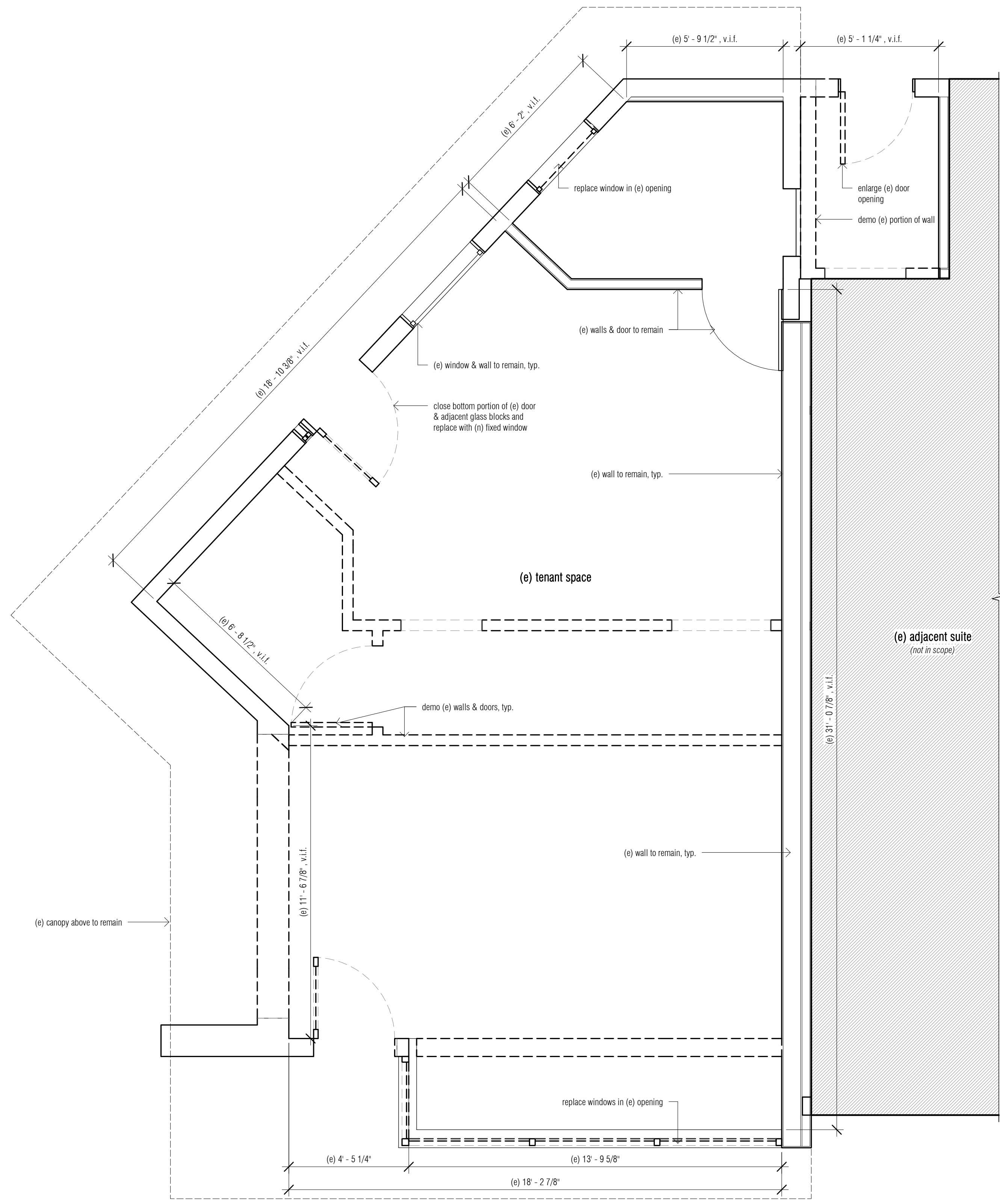
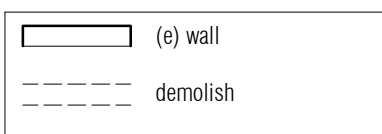
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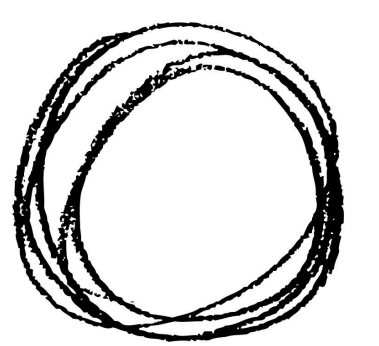
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a1.0
 site plan

demo legend



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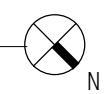
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a2.0
existing and demo plans

1 floor plan - existing & demolition
3/8" = 1'-0"



equipment schedule

#	Quantity	Description	Manufacturer	Model	Width	Depth	Height	BTUH	Amps	Comments
01	2	24" U.C. Freezer	TRUE	TUC-24F-HC	24"	24 3/4"	31 5/8"		2.3	
02	2	24" U.C. Refrigerator	TRUE	TUC-24-HC	24"	24 3/4"	31 5/8"		2.0	
03a	1	Back Bar Cooler, Refrigerator	Beverage Air	BB48HC-1-S	48"	24 1/2"	34"	1702	2.5	Verify compatibility with draft column tower.
03b	1	Two-Faucet Draft Column Tower	Glasterder	CT-2-SS	19"	12"	17 3/8"			Verify compatibility with back bar cooler.
04	1	Hand Sink	Krowne Metal	KR19-1C	12"	19"	36 1/2"			
05	2	Drop-In Hand Sink	Krowne Metal	HS-1419	12"	18"	10"			
06	2	Drop-In Ice Bin with Cold Plate	Advance Tabco	D-12-IBL-7	12"	18"	14"			
07	1	Drop-In Three Compartment Sink	Krowne Metal	HS-3819	36"	18"	10"			
08	1	Mop Sink Storage Cabinet	Eagle Group	F1916-VSCS	24 3/4"	22"	84 1/4"			
09	1	Undercounter Dishwasher	CMA	L-1X	24"	23 1/2"	34"		16.0	
10	1	24" Back Bar Glass Storage	Krowne Metal	KR24-GSB3	24"	24"	36 1/2"			
11	1	Ice Machine with Built-In Storage	HOSHIZAKI	IM-50BAA-LM	19 3/4"	17 3/4"	39 1/2"	1500	5.0	
12	1	24" Slide Top Glass Chiller Mug Frosters	Krowne Metal	MC24S	24"	24"	34"		2.5	
13a	1	Soft Serve Ice Cream Machine w/2 Hoppers	Spaceman	6235-C	20 7/8"	25 3/4"	58"			
13b	1	Front Mount Dipperwell	Krowne Metal	16-153L	10"	6"	3 3/8"			
14	1	30" x 60" Stainless Steel Open Base Work Table	Regency	600WTS30X60S	60"	30"	34"			
15	3	24" Glass Rinser Drip Tray	Krome	C460-SS	24"	7"	7/8"			
16	1	24" 3-Tier Liquor Display	TBD	TBD	24"	13 1/2"	12"			
17	1	Double Waffle Maker	Wells Bloomfield	WB-2E	19 3/4"	18 1/8"	8 5/8"		15.0	
18	1	Compact Panini Grill	Waring Commercial	WPG150	14 1/2"	15 1/2"	22"		15.0	
19	1	Wall-Mounted Microwave Shelf	Advance Tabco	MS-24-36	36"	24"	10"			

equipment notes

- public health - king county inspection required upon completion of work prior to opening.
- no changes shall be made without health department approval.
- contractor to confirm final equipment selections with owner.
- contractor shall verify and coordinate all quantity and dimensions and notify architect and owner of any discrepancies.
- contractor to review proposed equipment specifications and shall confirm and provide all plumbing, electrical, exhaust, and clearance requirements.
- contractor to confirm equipment quantity with plan.

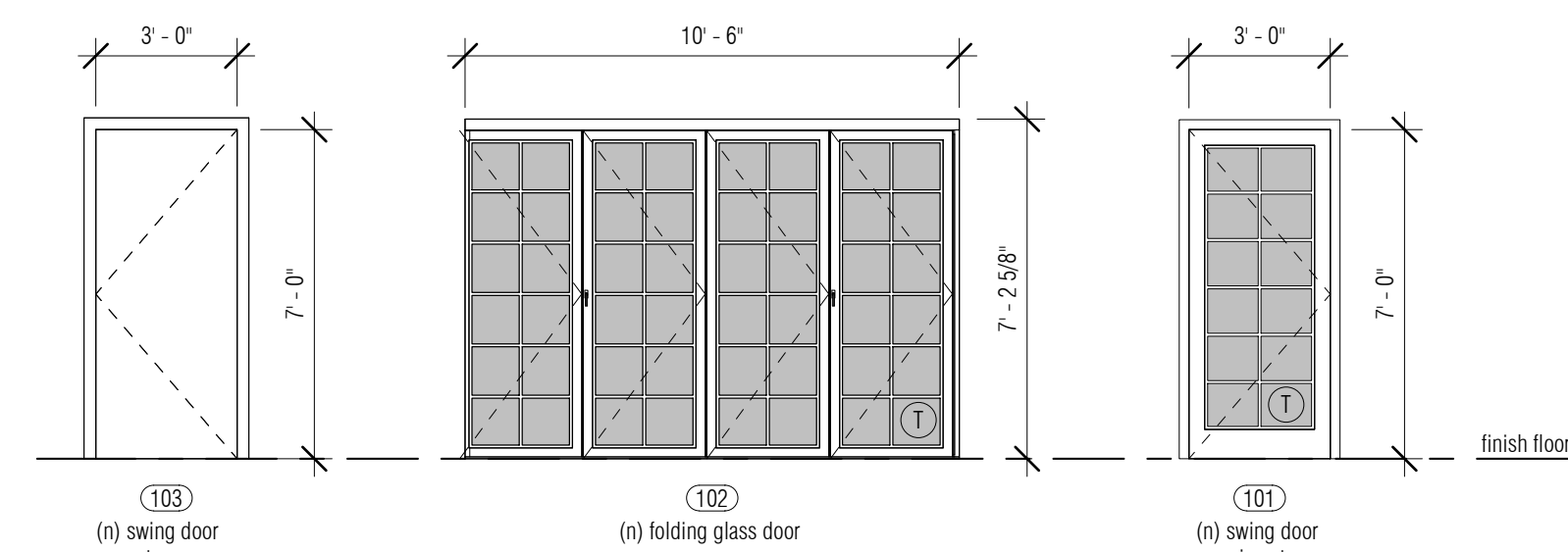
door schedule

#	Location	Operation	Finish Width	Finish Height	U-Value Max	SHGC Max	Manufacturer	Door Material	Hardware	Door Notes	Comments
101	Circulation	Swing	3'-0"	7'-0"	0.60	0.61	TBD	Wood / Glass	Locking w/ Closer	1, 2, 3, 4	Safety glass.
102	Circulation	Folding Glass Door	10'-6"	7'-4"	0.40	0.61	Narrowwall or approved equal	Aluminum / Glass		3	Verify existing wall size w/ (n) header. Safety glass.
103	(n) Restroom	Swing	3'-0"	7'-0"	0.37		TBD	Wood	Locking	4	
E01	Back of House	Swing	3'-0"	6'-8"			TBD	Existing	Existing		Existing to remain.
E02	Back of House	Swing	2'-6"	6'-8"			TBD	Existing	Existing		Existing to remain, reframe as required.

door notes

- means of egress:
 - means of egress doors shall be readily distinguishable from adjacent construction and finishes so that the doors are easily recognizable as doors.
 - min. clear width = 32".
 - door swing shall be of the pivoted or side hinged swinging type.
 - the force for pulling or pushing open interior swinging doors shall not exceed 5 pounds (22N). forces shall be applied to the latch side of the door.
 - there shall be a level floor or landing on each side of the door that is at the same elevation on each side.
 - egress doors shall be readily operable from the egress side without the use of a key or special effort.
 - locks and latches shall be permitted to prevent door operation.
 - door handles, pulls, latches, locks & other operating devices on doors req'd to be accessible by chapter 11 shall not require tight grasping, tight pinching or twisting of the wrist to operate.
 - door handles, pulls, latches, locks and other devices shall be installed 34" min and 48" max above the finished floor.
 - manually operated flush bolts or surface bolts are not permitted.
 - the unlatching of any door or test shall not require more than one operation.
- main exterior doors: this door is the main exit and is permitted to comply with SBC 1010.1.9.4, item 2 per exception under SBC 1010.1.10. this door is permitted to be equipped with key-operated locking devices from the egress side. the locking device must be readily distinguishable as locked. a readily visible sign is posted on the egress side on or adjacent to the door stating "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" with 1" high lettering on a contrasting background.
- door to meet 2018 washington state energy code requirements.
- door to be accessible as required by ICC/ANSI A117.1-2009.

door types



window & storefront schedule

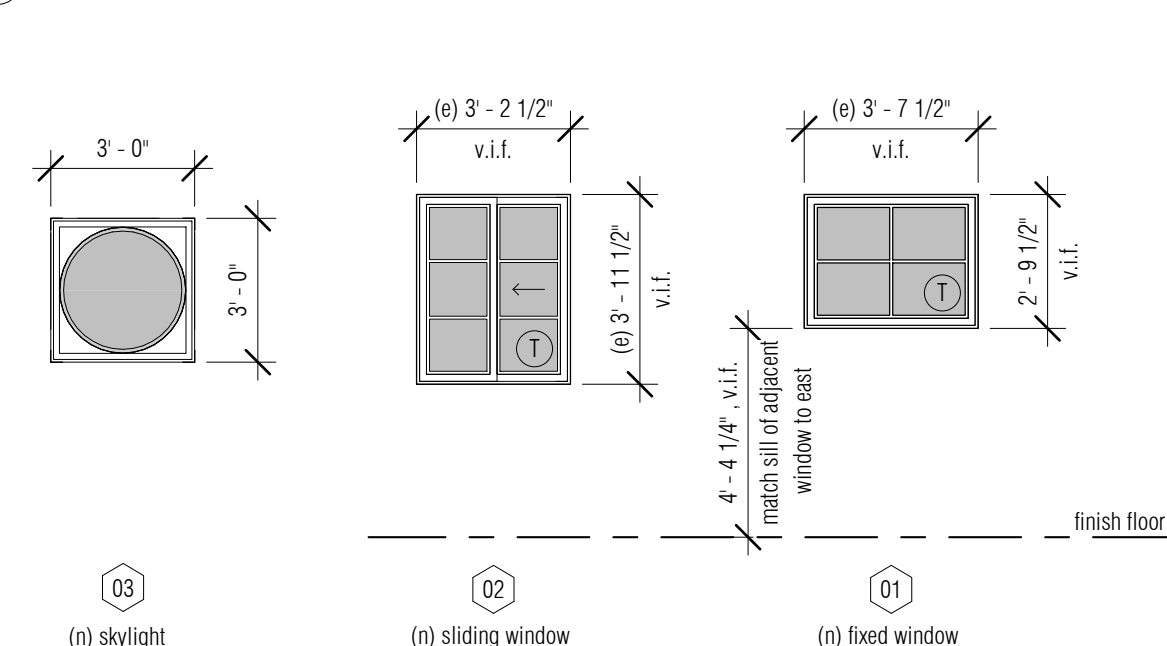
#	Location	Operation	Finish Width	Finish Height	Head Height	Material	U-Value Max	SHGC Max	Certification	Comments
01	Bar	Fixed	3'-7 1/2"	2'-9 1/2"	7'-1 3/4"	Match existing.	0.38	0.61	NFRC certified	Existing opening width, verify in field. Align head height with adjacent windows, align sill with adjacent window to the east. Safety glass.
02	Back of House	Sliding	3'-2 1/2"	3'-11 1/2"	7'-1 3/4"	Match existing.	0.40	0.61	NFRC certified	Replace window in existing opening, verify dimensions in field. Safety glass.
03	Bar	Fixed skylight	3'-0"	3'-0"			0.50	0.35	NFRC certified	

#	Location	Finish Width	Finish Height	Material	U-Value Max	SHGC Max	Certification	Comments
S1b	Seating Area 2	3'-1"	5'-5 1/2"		0.38	0.61	NFRC certified	Replace window in existing opening, verify dimensions in field. Safety glass.
S1a	Seating Area 2	13'-10 1/8"	5'-5 1/2"		0.38	0.61	NFRC certified	Replace window in existing opening, verify dimensions in field. Safety glass.

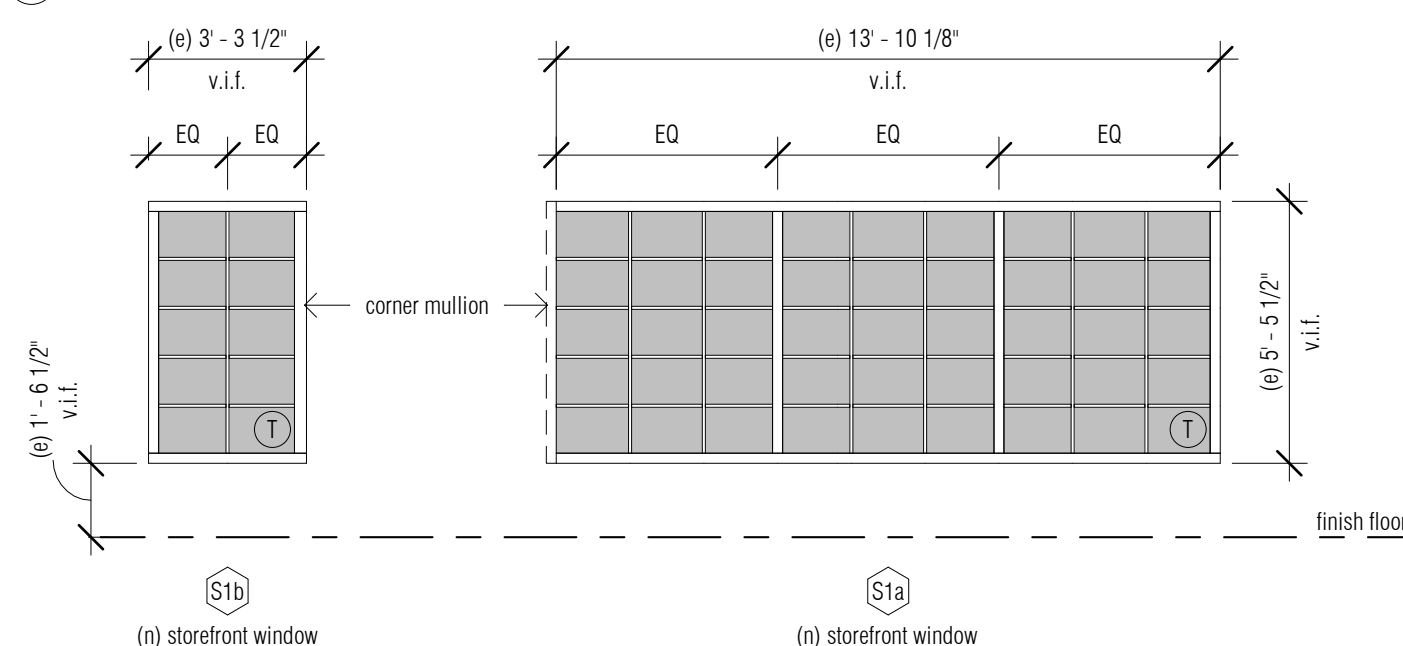
window & storefront notes

- all dimensions (including frames and rough openings) shall be field verified prior to ordering.
- provide flashing per manufacturer specifications.
- all windows & storefront systems to meet 2018 seattle energy code requirements and shall be NFRC certified. The NFRC Label Certificates for site-fabricated fenestration are required to be available to inspectors on site before any portion of the fenestration assembly is installed.
- provide safety glazing as required per SBC 2406.4.
 - glazing in swing doors (2406.4.1)
 - glazing adjacent to doors (SBC 2406.4.2)
 - glazing in windows (2406.4.3)
 - the exposed area of an individual pane is greater than 9 sq. ft.
 - the bottom edge of the glazing is less than 18 in above the floor.
 - the top edge of glazing is greater than 36 in above the floor.
 - one or more walking surfaces are within 36 in, measured horizontally in a straight line, of the plane of the glazing.
 - glazing in guards and railings (2406.4.4)
 - glazing and wet surfaces (2406.4.5), exception: glazing that is more than 60 in, measured horizontally and in a straight line, from the water's edge of a bathtub, hot tub, spa, whirlpool, or swimming pool.
 - glazing adjacent to stairways and ramps (2406.4.6)
 - glazing adjacent to the bottom stairway landing (2406.4.7).

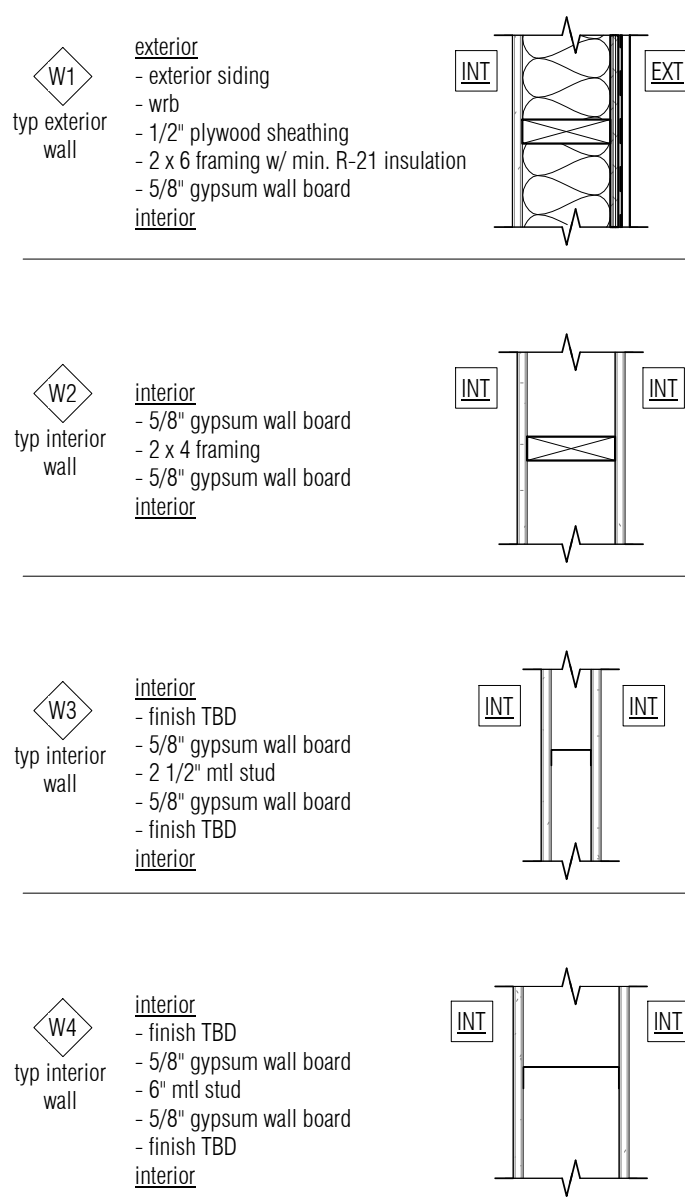
window types



storefront legend

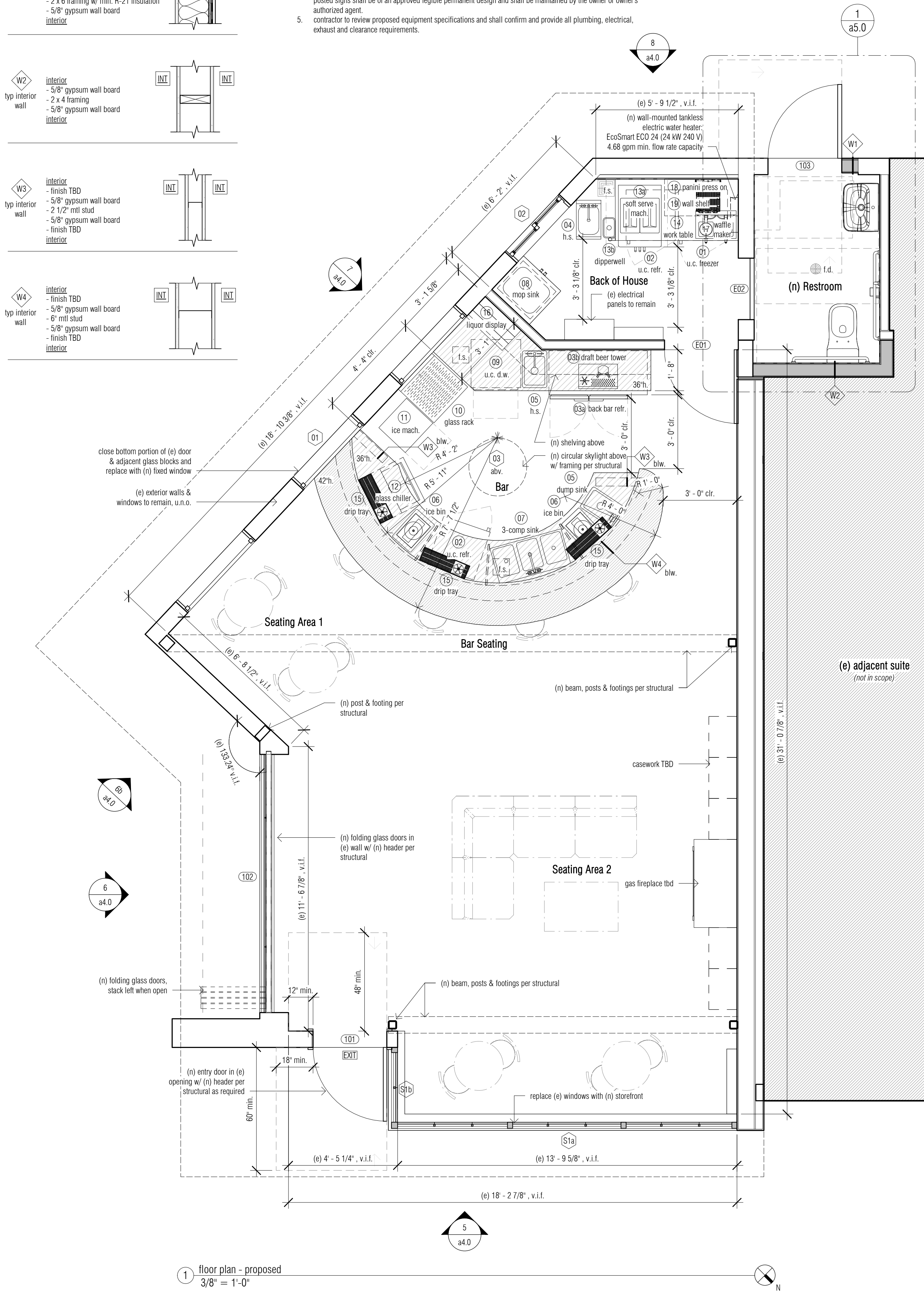


wall assemblies

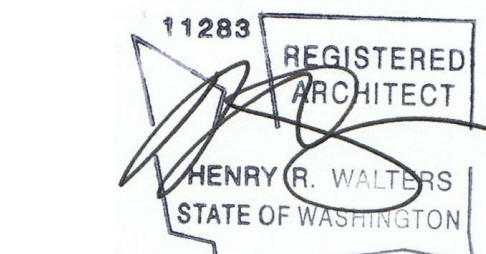
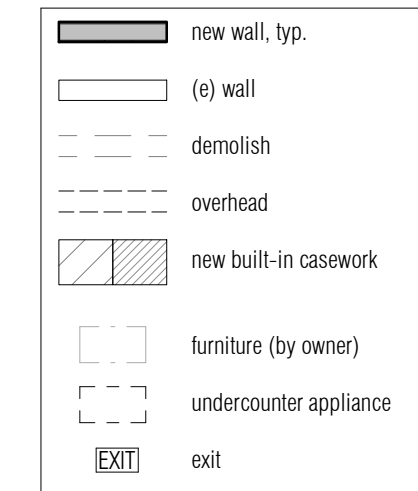


floor plan notes

- public health - king county inspection required upon completion of work prior to opening.
- no changes shall be made without health department approval.
- contractor shall verify and coordinate door rough opening sizes and notify architect of any discrepancies.
- per IRC 1004.5, every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space. posted signs shall be of an approved legible permanent design and shall be maintained by the owner or owners authorized agent.
- contractor to review proposed equipment specifications and shall confirm and provide all plumbing, electrical, exhaust and clearance requirements.



plan legend



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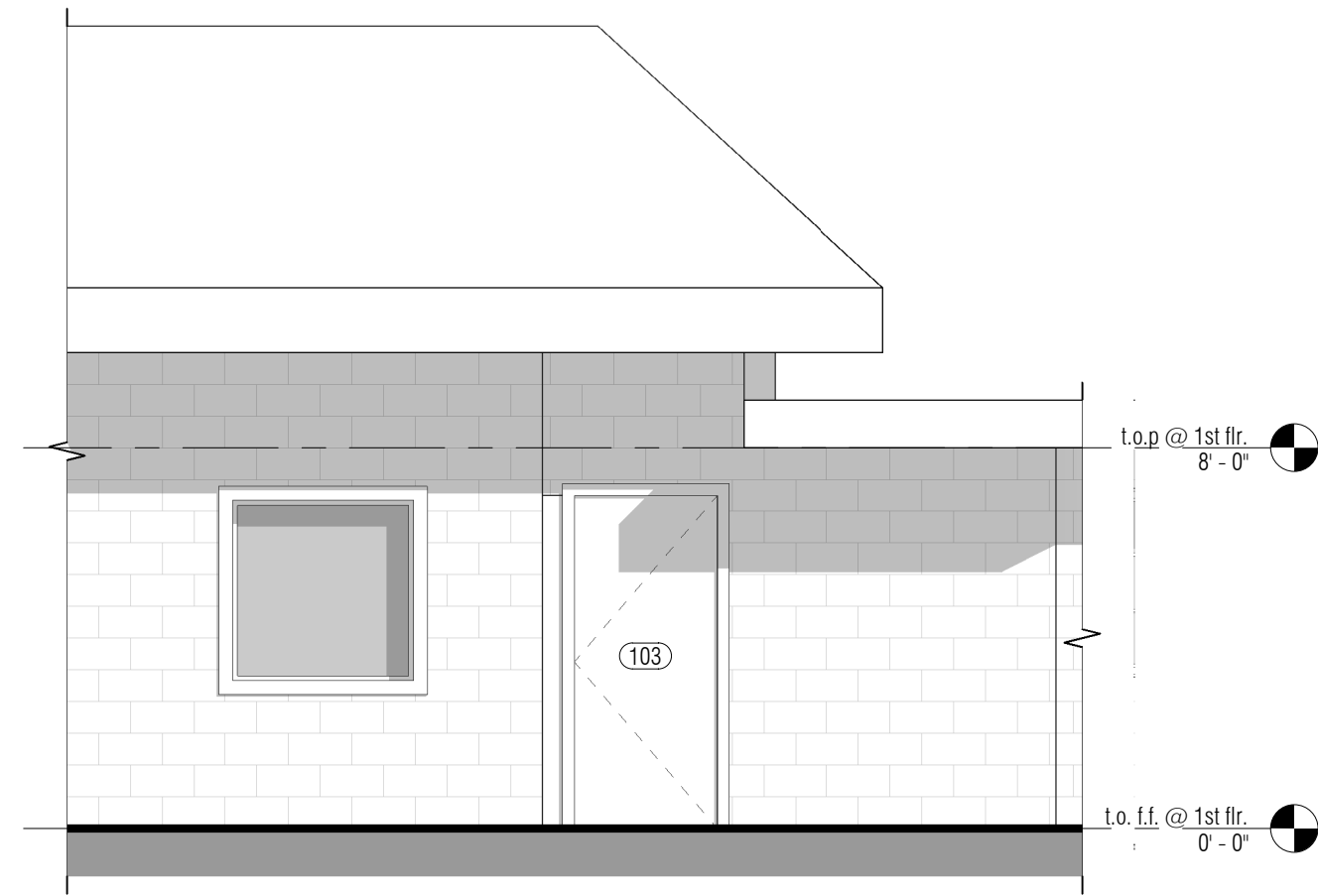
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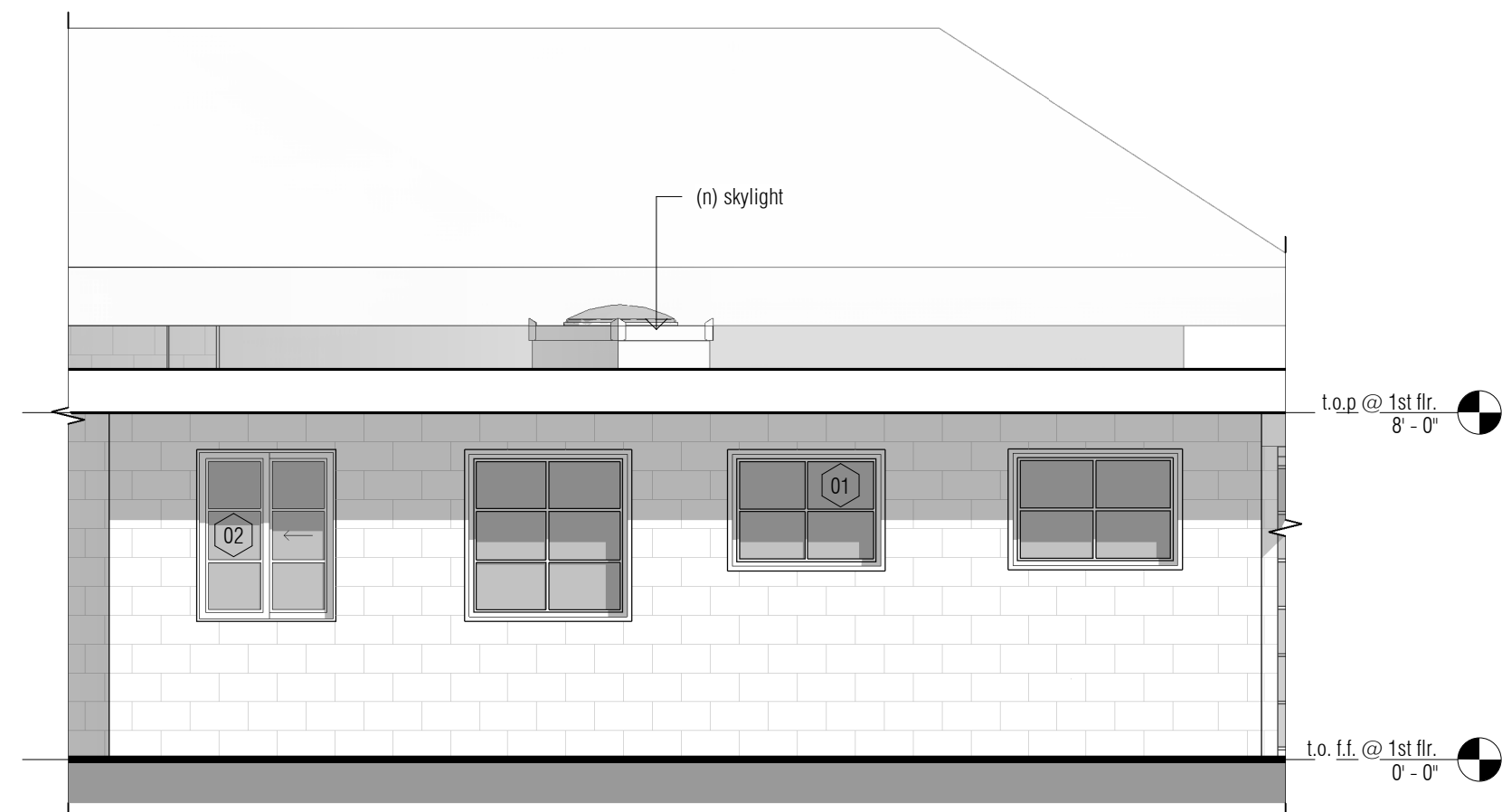
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a2.1
proposed floor plan & schedules

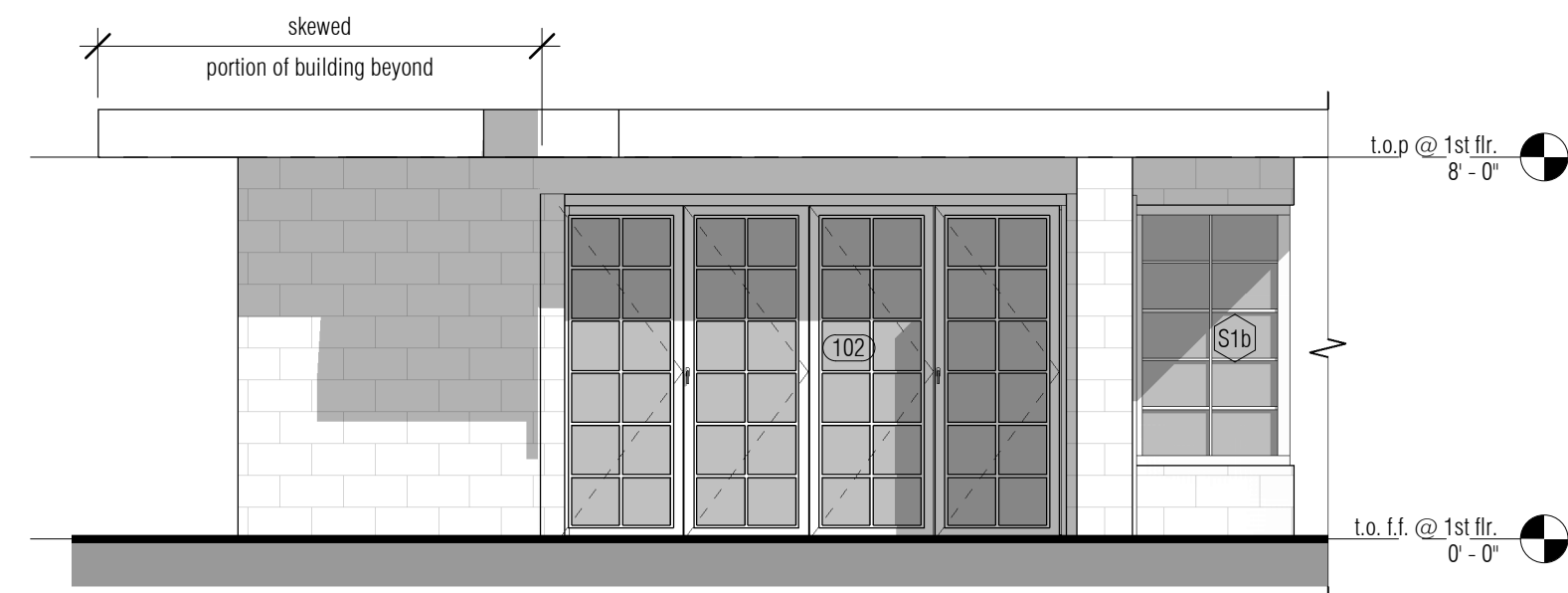
○ proposed elevations



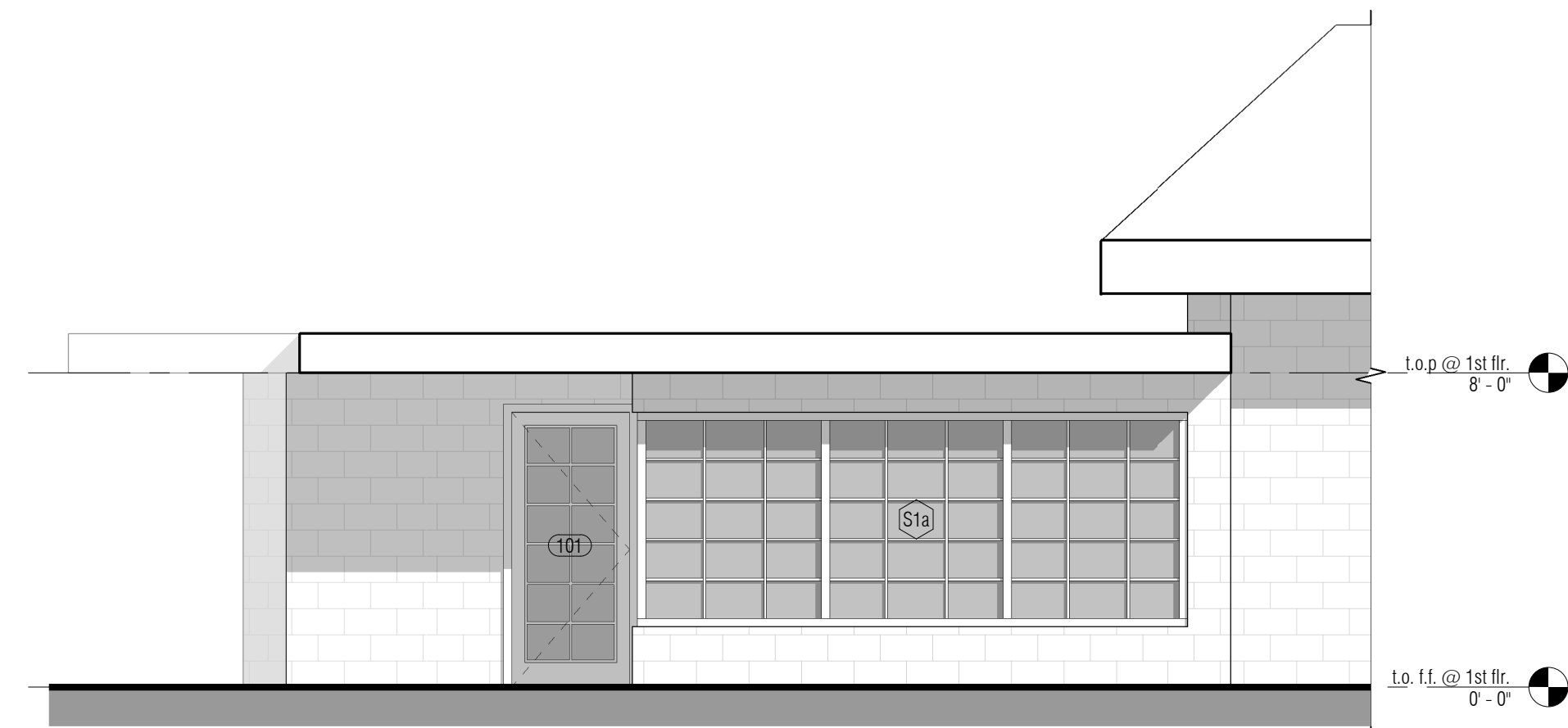
8 proposed - southwest elevation (restroom)
1/4" = 1'-0"



7 proposed - south elevation
1/4" = 1'-0"

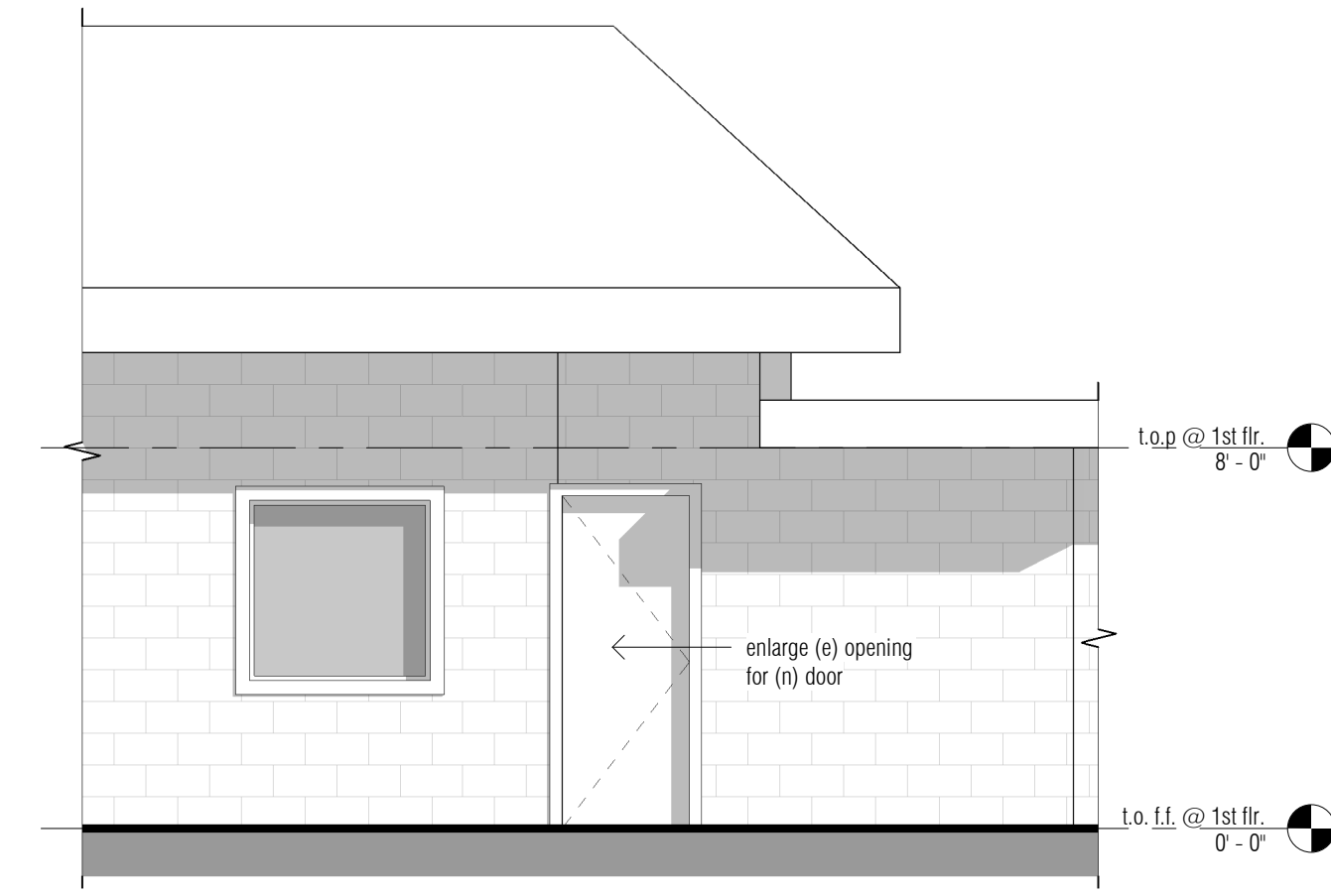


6 proposed - southeast elevation (folding glass doors)
1/4" = 1'-0"

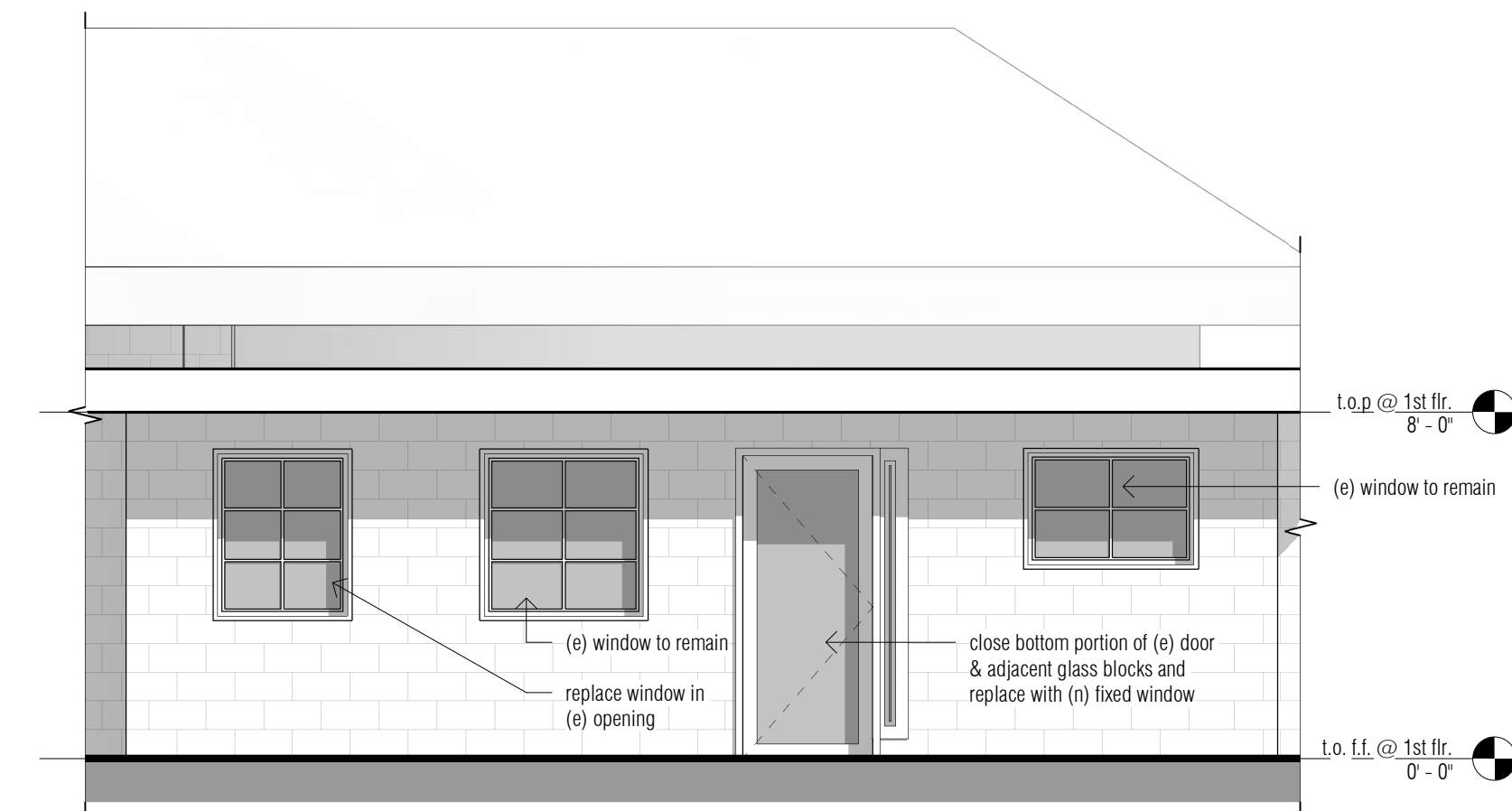


5 proposed - northeast elevation (main entry)
1/4" = 1'-0"

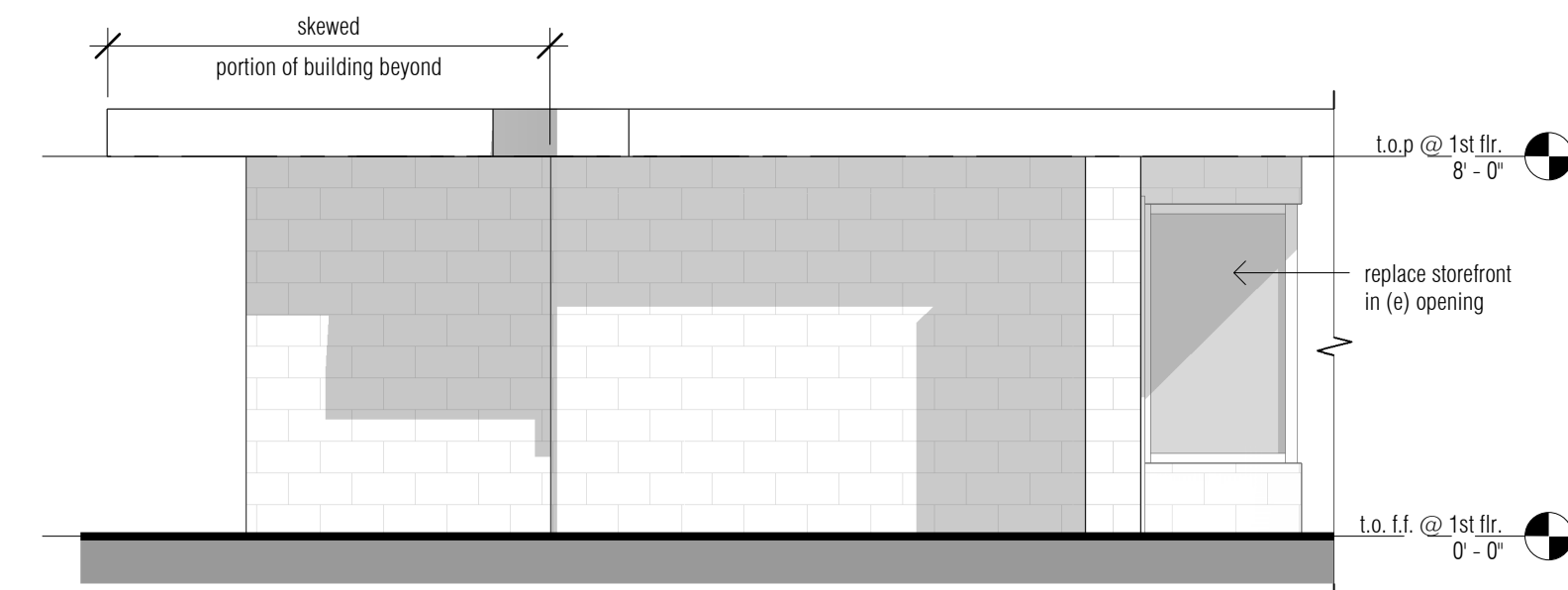
○ existing elevations (for reference only)



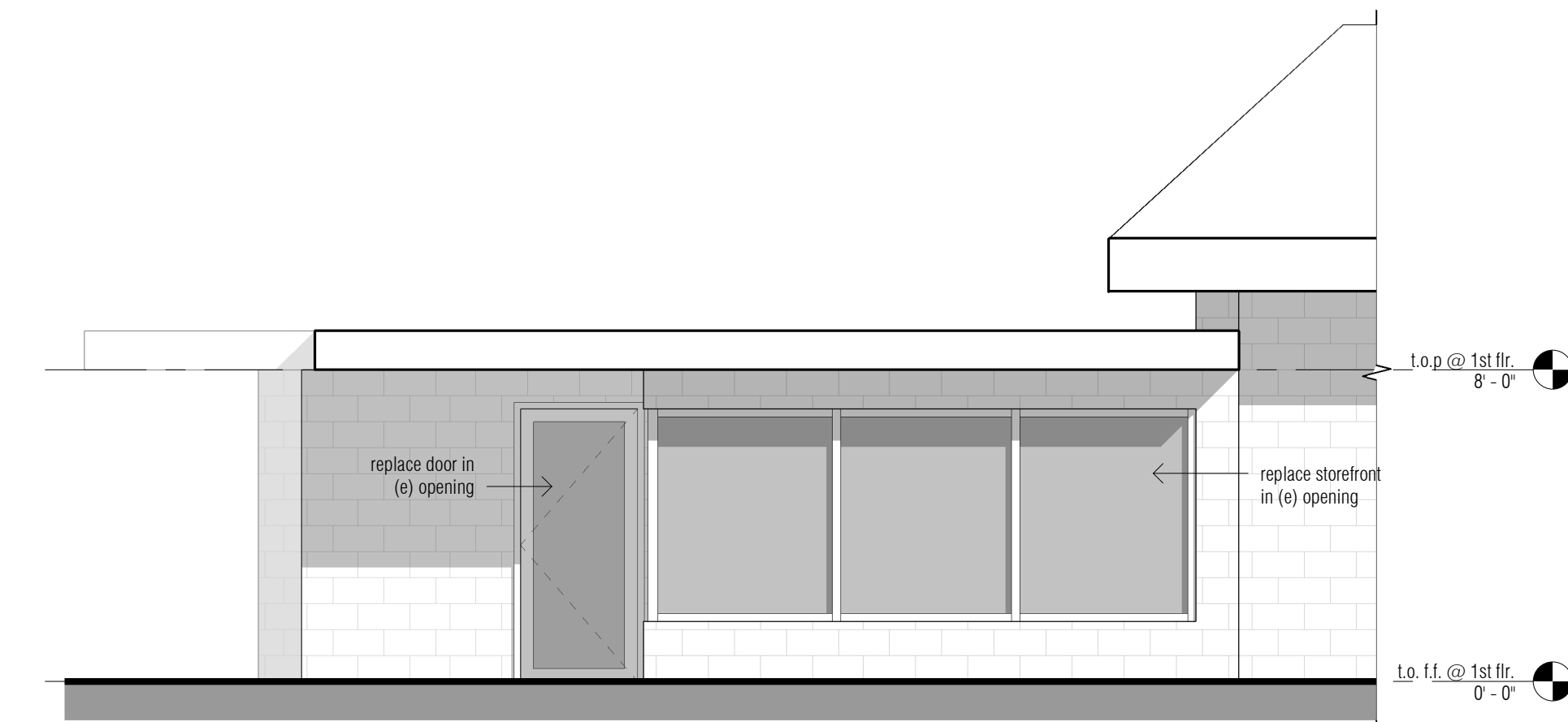
4 existing - southwest elevation
1/4" = 1'-0"



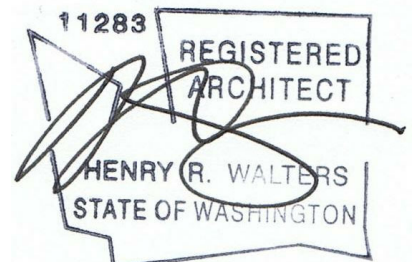
3 existing - south elevation
1/4" = 1'-0"



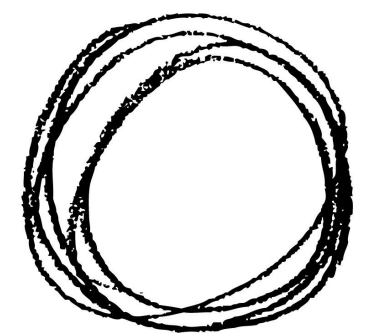
2 existing - southeast elevation
1/4" = 1'-0"



1 existing - northeast elevation (main entry)
1/4" = 1'-0"



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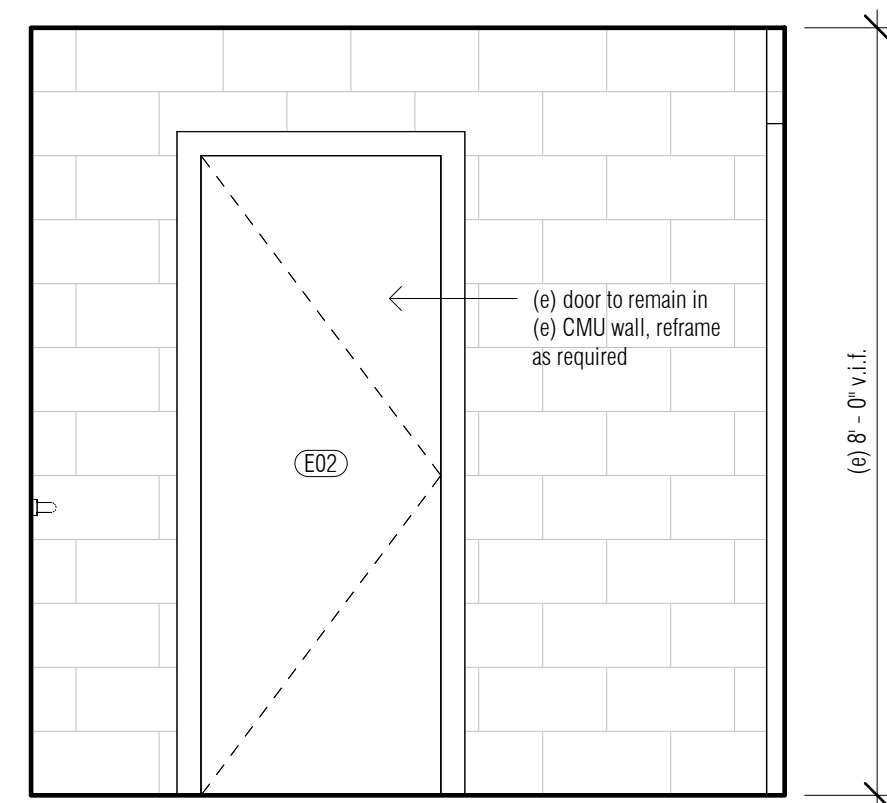
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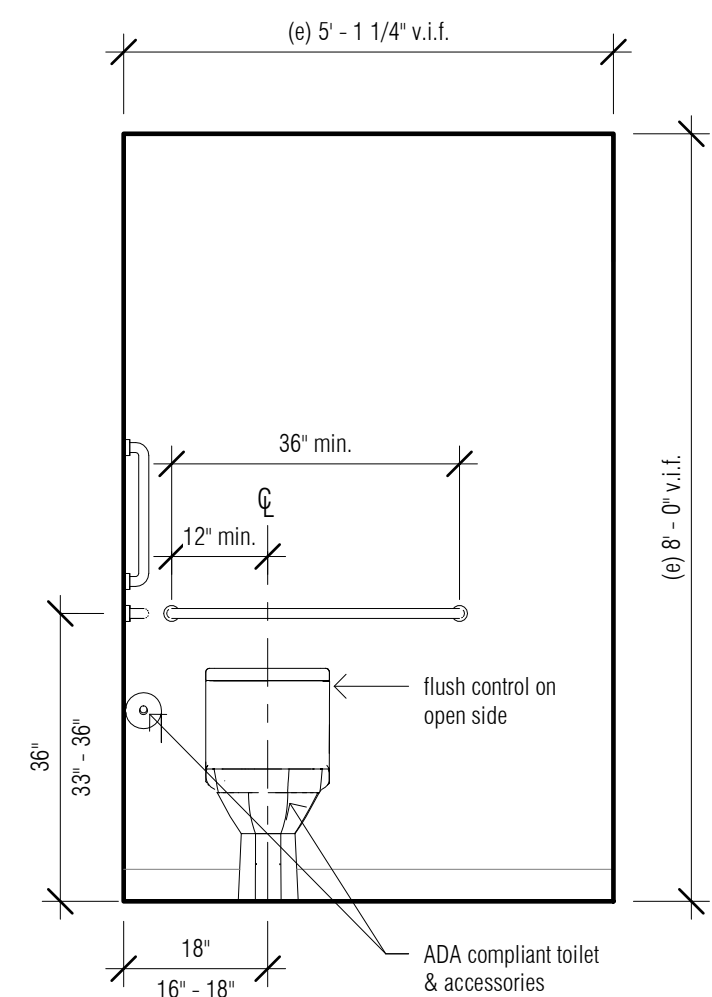
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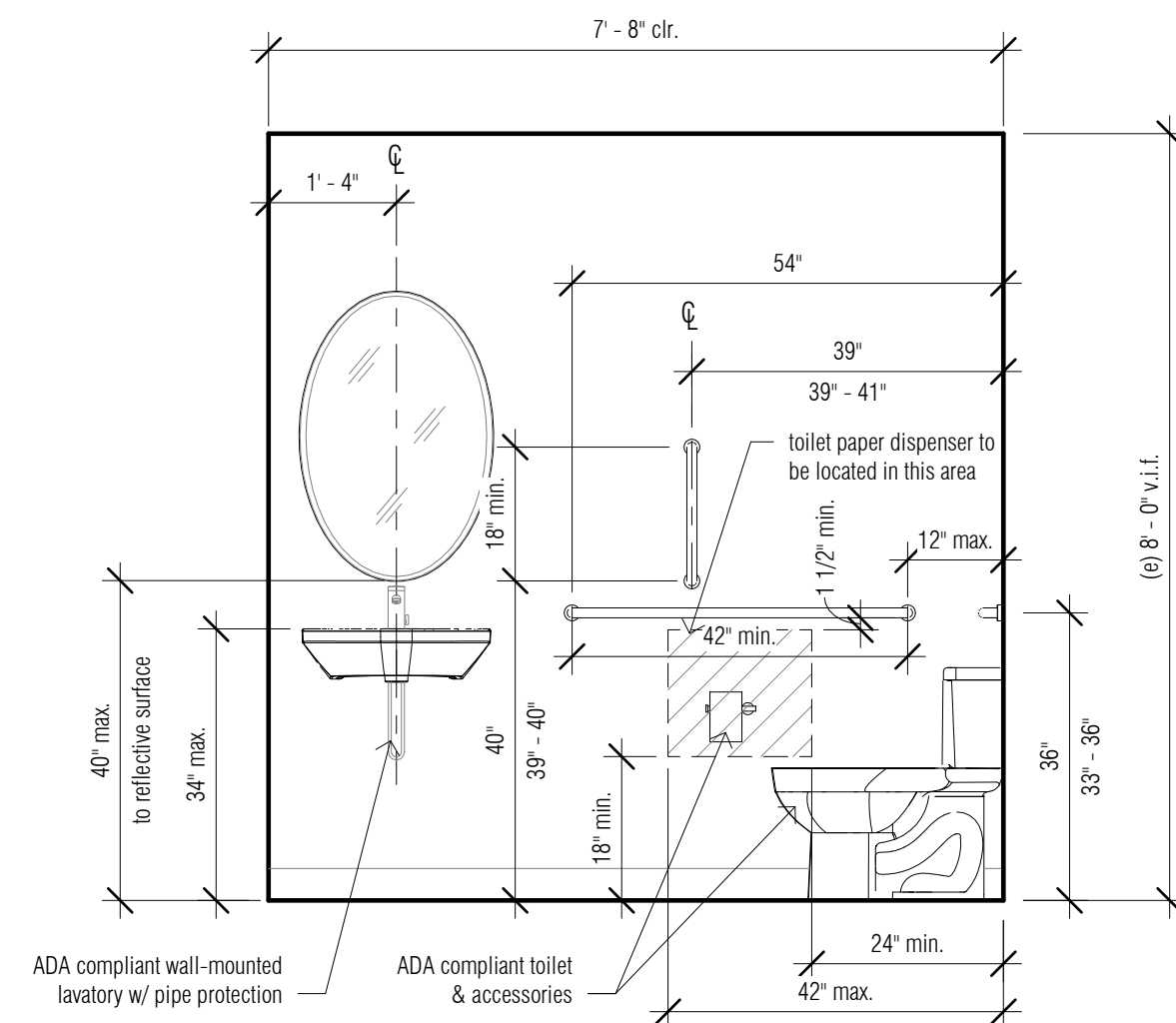
a4.0
exterior elevations



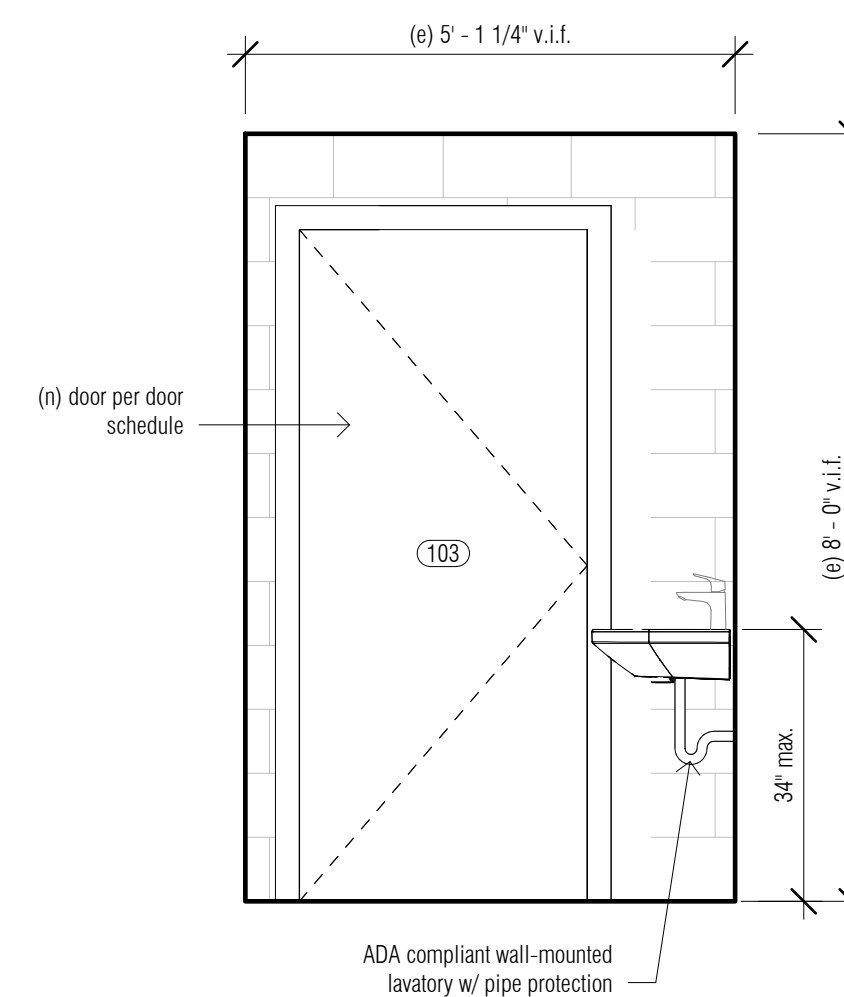
5 (n) restroom - southeast elevation
1/2" = 1'-0"



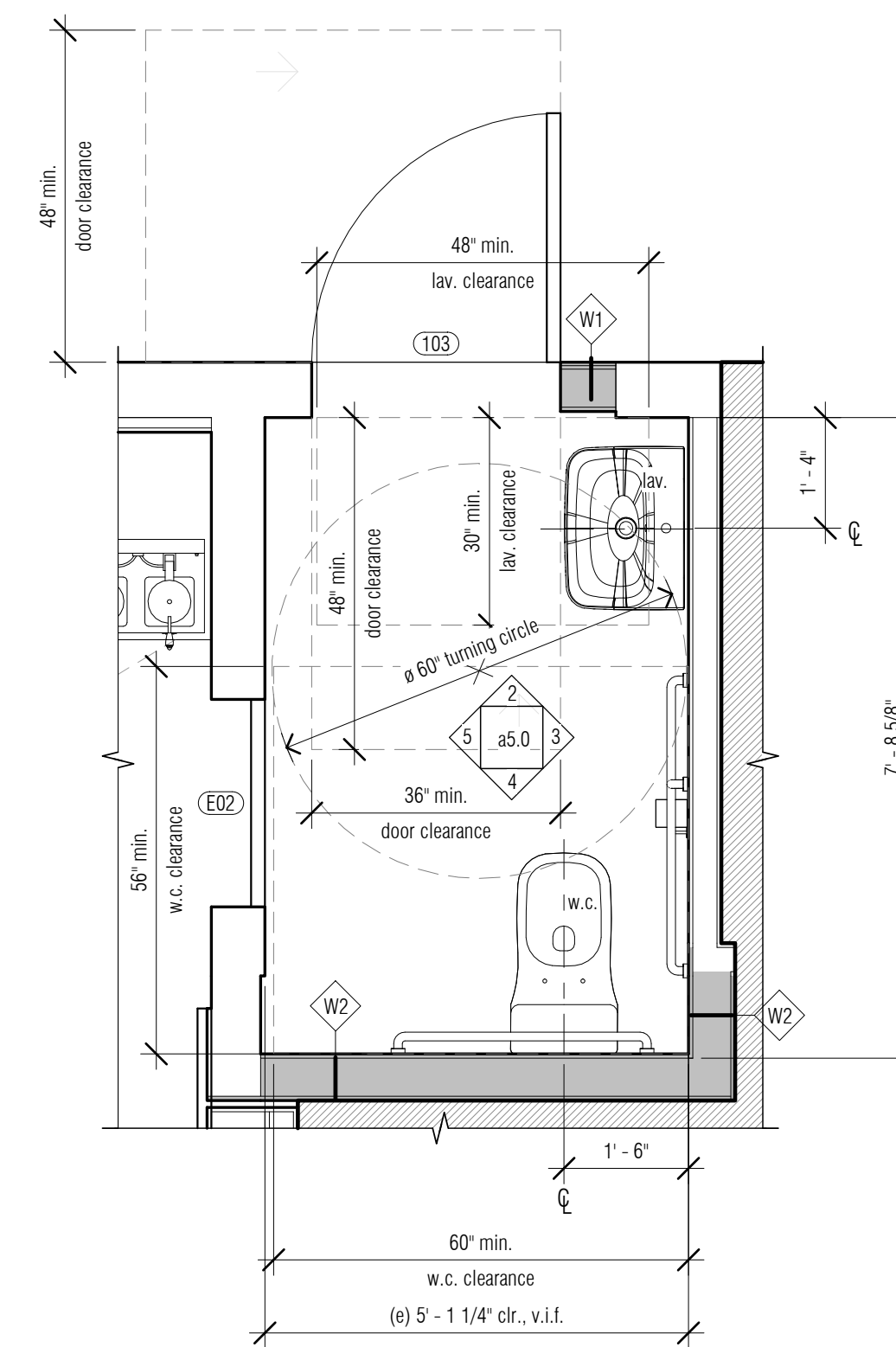
4 (n) restroom - northeast elevation
1/2" = 1'-0"



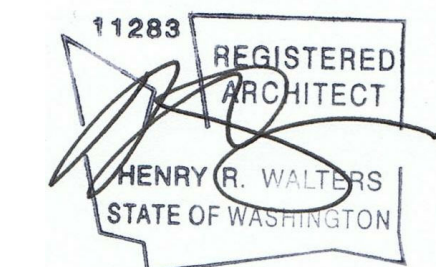
3 (n) restroom - northwest elevation
1/2" = 1'-0"



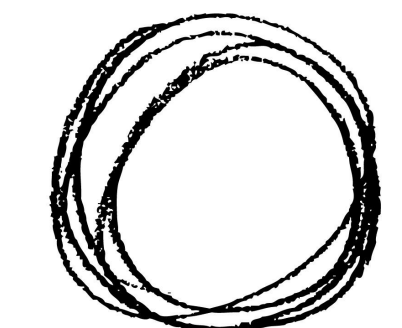
2 (n) restroom - southwest elevation
1/2" = 1'-0"



1 enlarged plan - (n) restroom
1/2" = 1'-0"



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a5.0
restroom accessibility

GENERAL STRUCTURAL NOTES CONTINUED

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

RENOVATION

35. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
36. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION AND/OR DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 20 PSF.
37. CONTRACTOR SHALL CHECK FOR DRYROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.
38. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.
- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE.
 - B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
 - C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING, IF POSSIBLE.
 - D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWELS EPOXY GROUTED INTO EXISTING CONCRETE SHALL BE PROVIDED TO MATCH HORIZONTAL REINFORCING. UNO.
39. ALL EXTERIOR MASONRY WALLS SHALL BE INSPECTED AND REPAIRED AS FOLLOWS: SCRAPE ALL LOOSE AND WEAKENED MORTAR OUT TO FULL DEPTH OF THE DETERIORATION; REMOVE AND REPLACE ANY LOOSE MASONRY UNITS; CHECK FOR LOOSE FACING BRICK VENEERS; TUCK POINT ALL JOINTS SOLID. ALL MASONRY RESTORATION AND REPAIR SHALL BE PERFORMED IN SUCH A MANNER THAT THE EXISTING STRUCTURE IS NOT WEAKENED OR LEFT UNSUPPORTED DURING THE PROCESS OF THE WORK. ALL EXTERIOR APPENDAGES SUCH AS FIRE ESCAPES, CORNICES AND EYEBROWS SHALL BE INSPECTED FOR STRUCTURAL INTEGRITY AND THE CONDITION OF THE CONNECTIONS TO THE STRUCTURE. THE CONTRACTOR SHALL PROVIDE THE STRUCTURAL ENGINEER WITH THE RESULTS OF THE INSPECTION.

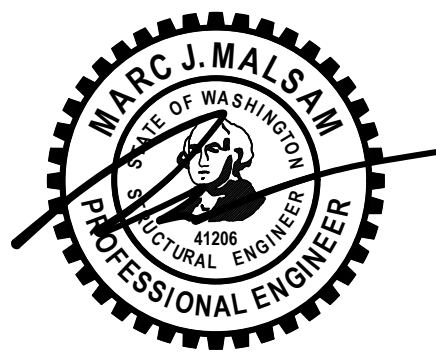
STEEL

40. WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992. Fy = 50 KSI. HP SHAPES SHALL CONFORM TO ASTM A572 GRADE 50, Fy = 50 KSI. OTHER ROLLED SHAPES INCLUDING PLATES, SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STRUCTURAL PIPE SHALL CONFORM TO ASTM A53 GRADE B, Fy = 35 KSI. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE C, Fy = 50 KSI (SQUARE AND RECTANGULAR), Fy = 46 KSI (ROUND). CONNECTION BOLTS SHALL CONFORM TO ASTM F3125 GRADE A325, UNO.
41. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
42. ALL A325 CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PILES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A PERSON USING AN ORDINARY SPUD WRENCH.
43. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES(F) AND 40 FT-LBS AT 70 DEGREES(F), AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

ABBREVIATIONS

±	PLUS OR MINUS	GL	GLUE LAMINATED	OSB	ORIENTED STRAND BOARD
∅	DIAMETER		TIMBER		BOARD
AB	ANCHOR BOLT	GR	GRADE	PLF	POUNDS PER LINEAR FOOT
ADDL	ADDITIONAL	GT	GIRDER TRUSS		PLYWOOD
ALT	ALTERNATE	GWB	GYP SUM WALLBOARD	PLY	PLYWOOD
APPROX	APPROXIMATE	HD	HOLD DOWN	PREFAB	PREFABRICATED
ARCH	ARCHITECT, ARCHITECTURAL	HDR	HEADER	PSF	POUNDS PER SQUARE FOOT
BLKG	BLOCKING	HGR	HANGER	PSI	POUNDS PER SQUARE INCH
BM	BEAM	HM	HIP MASTER		PARALLEL STRAND LUMBER
BOE	BOTTOM OF EXCAVATION	HORIZ	HORIZONTAL	PSL	PARALLEL STRAND LUMBER
BOT	BOTTOM	HT	HEIGHT	PT	PRESSURE TREATED LUMBER
CL	CENTERLINE	IBC	INTERNATIONAL BUILDING CODE		
CLR	CLEARANCE	INT	INTERIOR	REINF	REINFORCING
CONT	CONTINUOUS	IRC	INTERNATIONAL RESIDENTIAL CODE	REQD	REQUIRED
DBL	DOUBLE			SOG	SLAB ON GRADE
DF	DOUGLAS FIR	JST	JOIST	SQ	SQUARE
DP	DEEP, DEPTH	K	KIPS (1000 LBS)	STD	STANDARD
DN	DOWN	KP	KING POST	SW	SHEARWALL
DS	DRAG STRUT	L	LENGTH	T&G	TONGUE AND GROOVE
DWGS	DRAWINGS	LBS	POUNDS	THRD	THREADED
(E)	EXISTING	LONG	LONGITUDINAL	TPL	TRIPLE
EA	EACH	LSL	LAMINATED	TRANSV	TRANSVERSE
EMBED	EMBEDMENT		STRUCTURAL LUMBER	TYP	TYPICAL
EQ	EQUAL	LVL	LAMINATED VENEER LUMBER	UNO	UNLESS NOTED OTHERWISE
EQUIV	EQUIVALENT		LUMBER		
EW	EACH WAY	MAX	MAXIMUM	VERT	VERTICAL
EXP	EXPANSION	MB	MACHINE BOLT	W	WIDE OR WIDTH
EXT	EXTERIOR	MFR	MANUFACTURER	w/	WITH
FDN	FOUNDATION	MIN	MINIMUM	w/o	WITHOUT
FRMG	FRAMING	MISC	MISCELLANEOUS	WHS	WELDED HEADED STUD
FT	FEET	NO	NUMBER		
FTG	FOOTING	NTS	NOT TO SCALE	WTS	WELDED THREADED STUD
GA	GAUGE	oc	ON CENTER		
GALV	GALVANIZED	OPP	OPPOSITE	WWM	WELDED WIRE MESH

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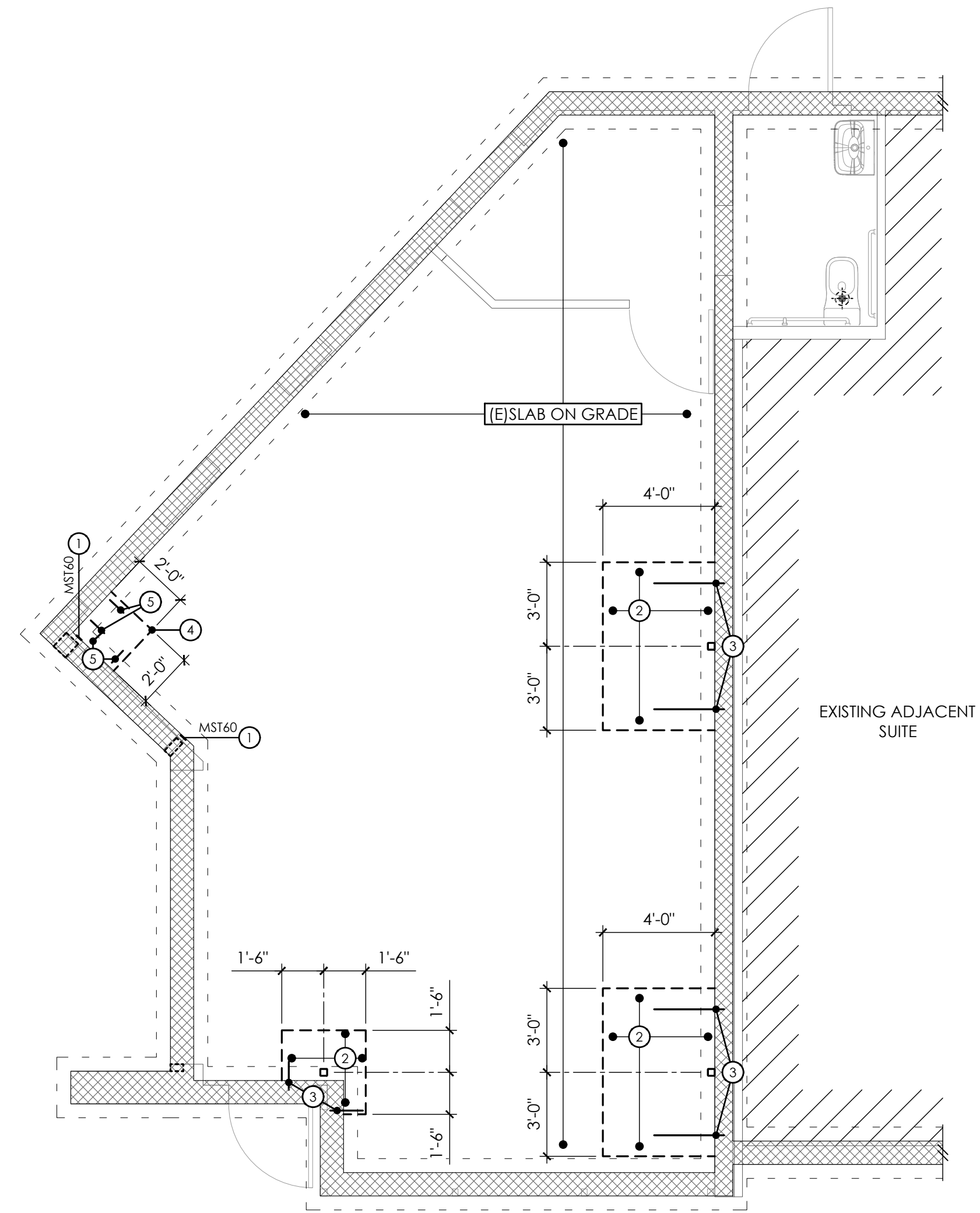
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GENERAL STRUCTURAL
NOTES

S1.1

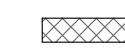
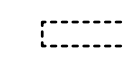
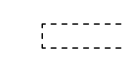
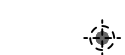
SCALE - NTS



PLAN NOTES

1. REFER TO SHEET S3.0 FOR TYPICAL FOUNDATION AND CONCRETE DETAILS.
2. REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
3. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

LEGEND

-  (E)CONCRETE WALL BELOW
-  STRUCTURAL WALL ABOVE
-  (E)STRUCTURAL WALL ABOVE
-  PLUMBING PENETRATION ABOVE

FOOTNOTES

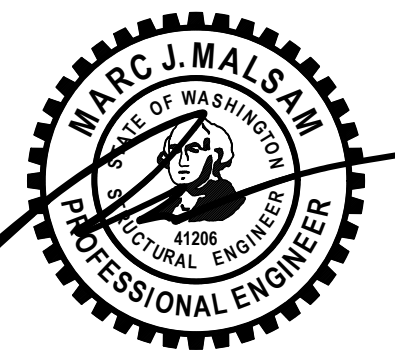
1. INSTALL HOLDOWN STRAP MIN 24" TO RIPPED POST AND ATTACH TO INTERIOR FACE OF EXISTING STEMWALL PER DETAIL 4/S3.0 - CONTRACTOR TO VERIFY EXISTING STEMWALL WIDTH
2. 12" THICKENED INTERIOR SLAB FOOTING w/ #4 AT 6"oc TOP AND BOT
3. #4 x 2'-6" DOWELS TO MATCH FOOTING REINFORCEMENT - EPOXY GROUT EMBED 4" MIN INTO (E)STEMWALL w/ SIMPSON SET-XP OR AT-XP. NO SPECIAL INSPECTION REQUIRED
4. 12" DEEP INTERIOR FOOTING w/ #4 AT 6"oc TOP AND BOT
5. #4 x 2'-6" DOWELS TO MATCH FOOTING REINFORCEMENT - EPOXY GROUT EMBED 4" MIN INTO (E) FOOTING w/ SIMPSON SET-XP OR AT-XP. NO SPECIAL INSPECTION REQUIRED

FOUNDATION PLAN

FIRST FLOOR WALLS SHOWN DASHED



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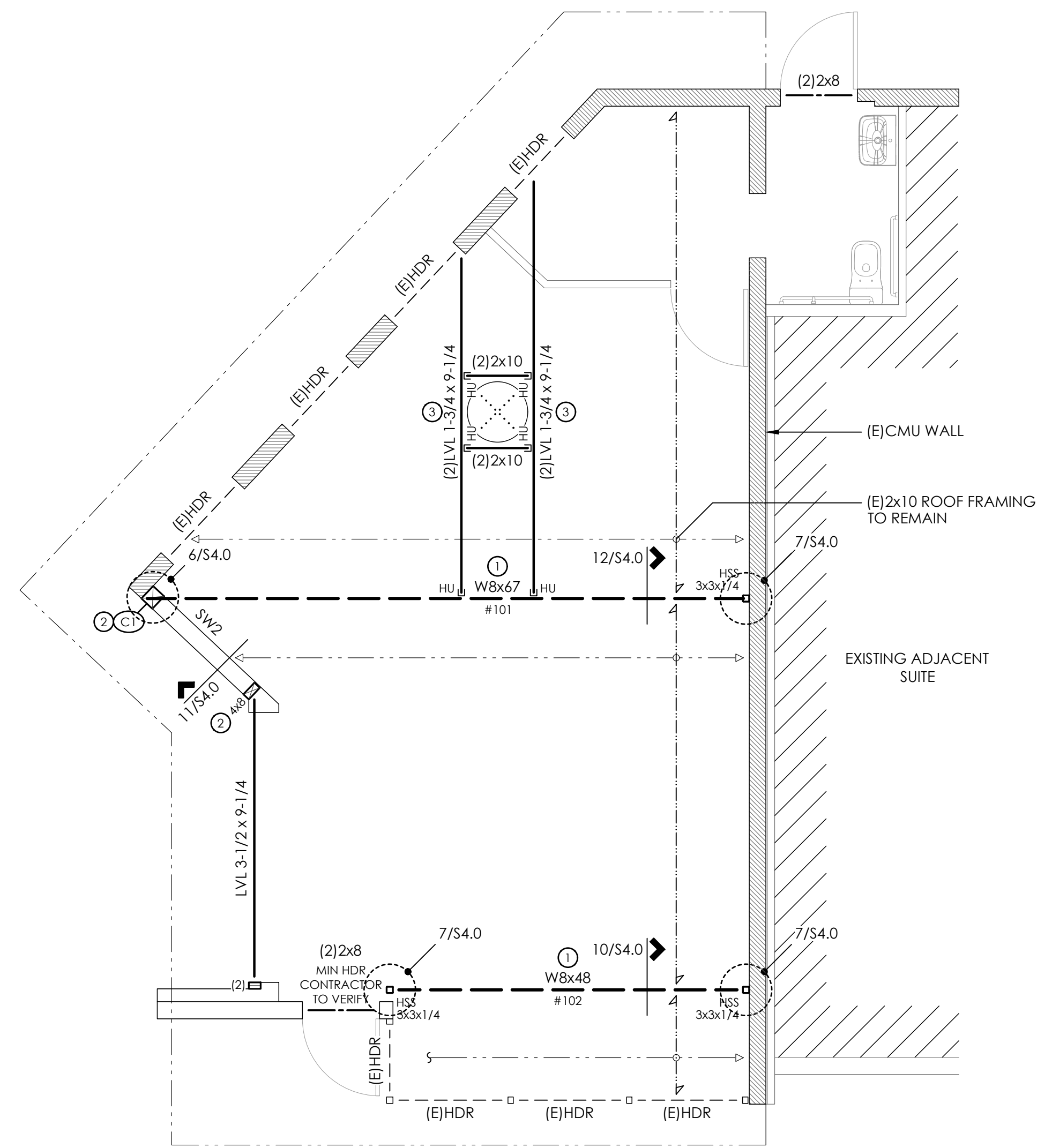
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**FOUNDATION
PLAN**

S2.1
SCALE - 1/4" = 1'-0"



PLAN NOTES

- "SW" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW6, UNO.
- ALL REQUIRED HEADERS ARE SHOWN ON PLAN AND SHALL BE (2)2x8, UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.
- PROVIDE (2)BEARING (TRIMMER) STUDS AT EACH END OF ALL HEADERS AND BEAMS 6'-0" IN LENGTH AND OVER, UNO.
- TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS, UNO.
- REFER TO SHEET S4.0 FOR TYPICAL WOOD FRAMING DETAILS.
- REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
- DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- (E)CMU WALL
- (E)STRUCTURAL WALL BELOW
- (E)SPAN AND EXTENTS
- NEW HEADER/BEAM BELOW FRAMING - TYP
- (x) NUMBER OF BUILT UP STUDS
- (1) PSL 7x7 - TOP CONNECTION PER 6/S4.0 - POST TO BEAR DIRECTLY ON FOUNDATION w/ (2)LAYERS OF BUILDING PAPER AND (2)A35 TO BOT PLATE

FOOTNOTES

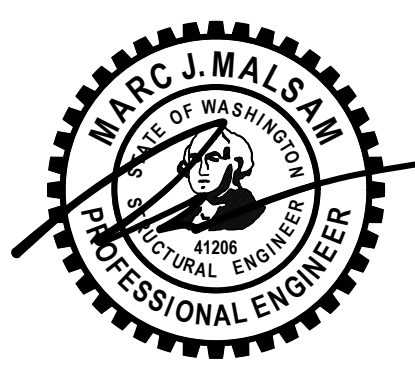
- CONTRACTOR TO ALIGN BEAM WITH CENTERLINE OF RAFTER SPLICE
- RIPPED POST TO BE FLUSH WITH EXISTING STEMWALL - CONTRACTOR TO VERIFY STEMWALL WIDTH
- SISTER BEAMS w/ (2)0.22"Ø x 3" SDWS SCREWS AT 24"oc

ROOF FRAMING PLAN

FIRST FLOOR WALLS SHOWN SOLID



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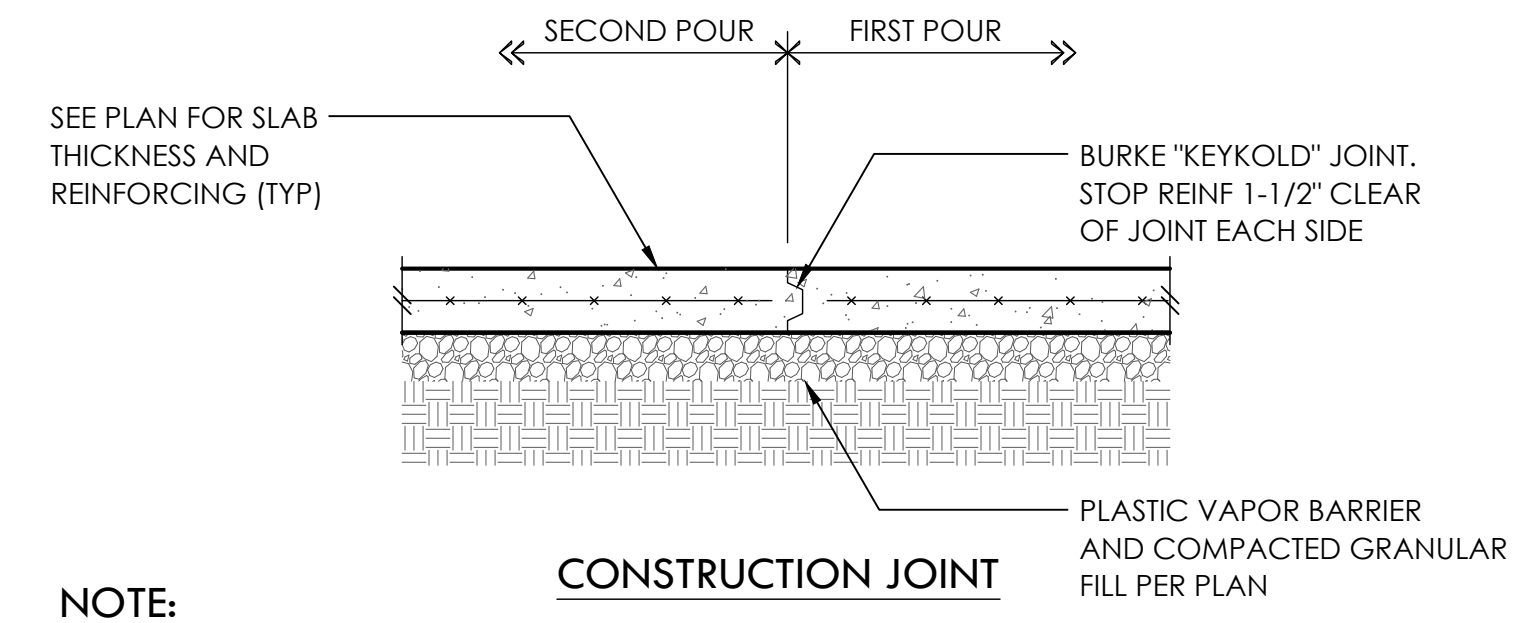
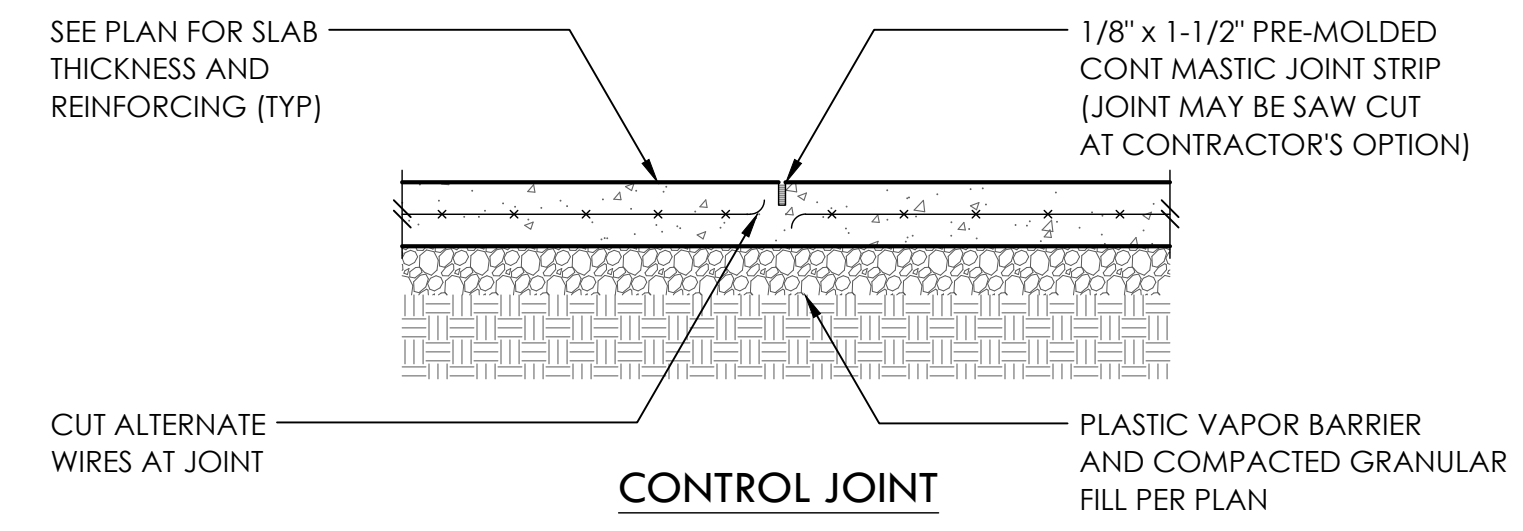
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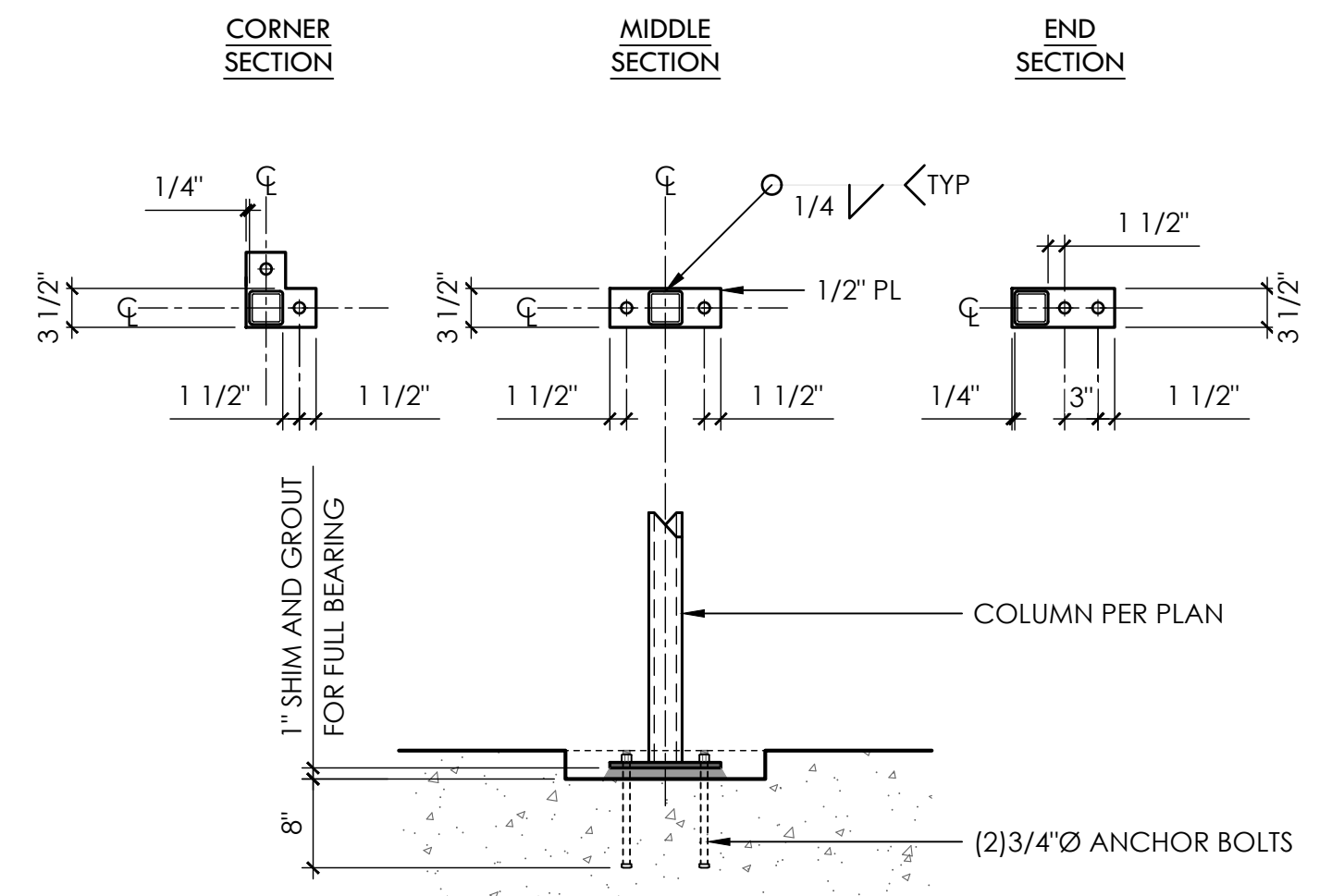
ROOF FRAMING PLAN

S2.2
SCALE - 1/4" = 1'-0"

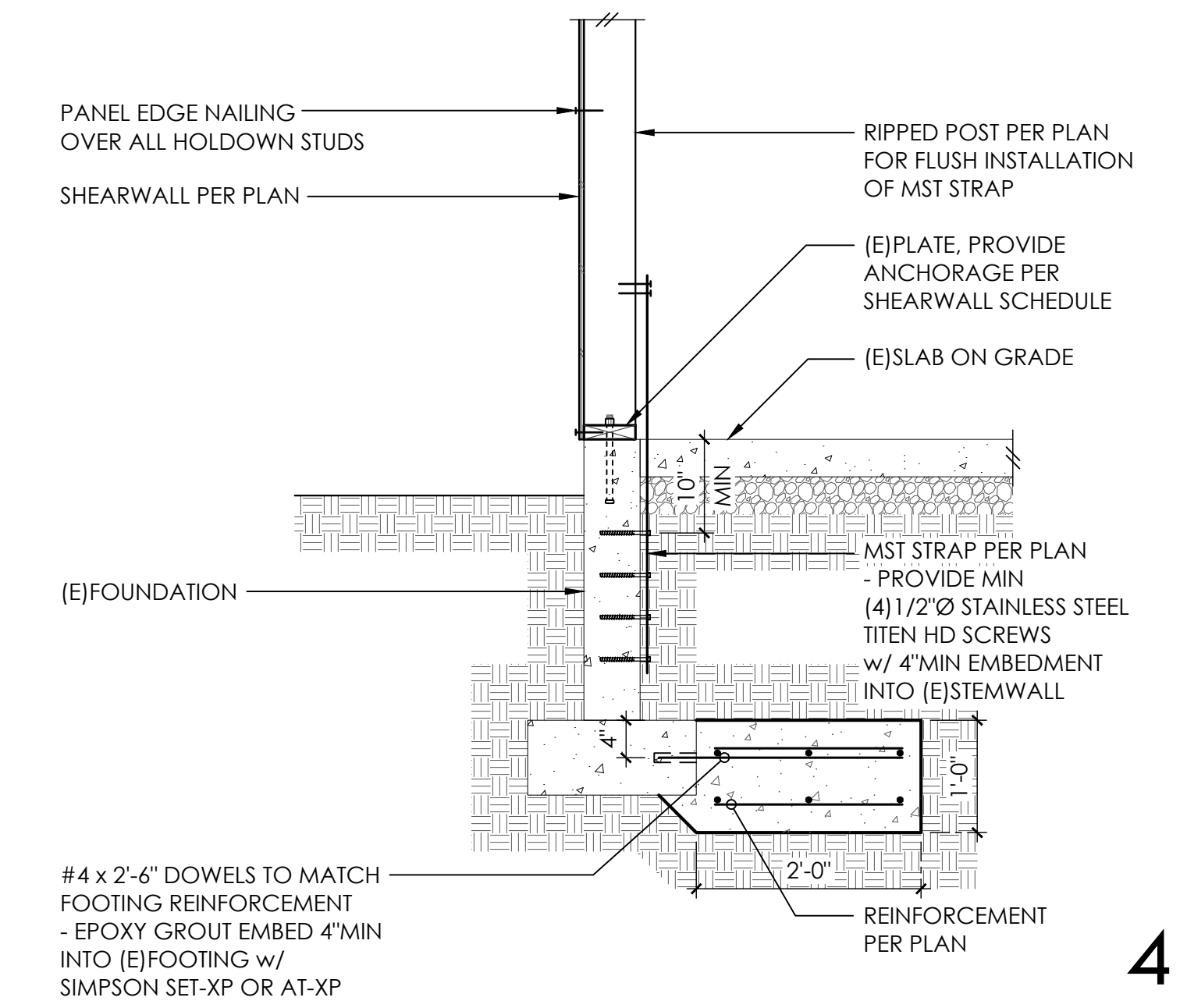


NOTE:
PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 200 SQUARE FEET OR LESS. AREAS TO BE APPROX SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

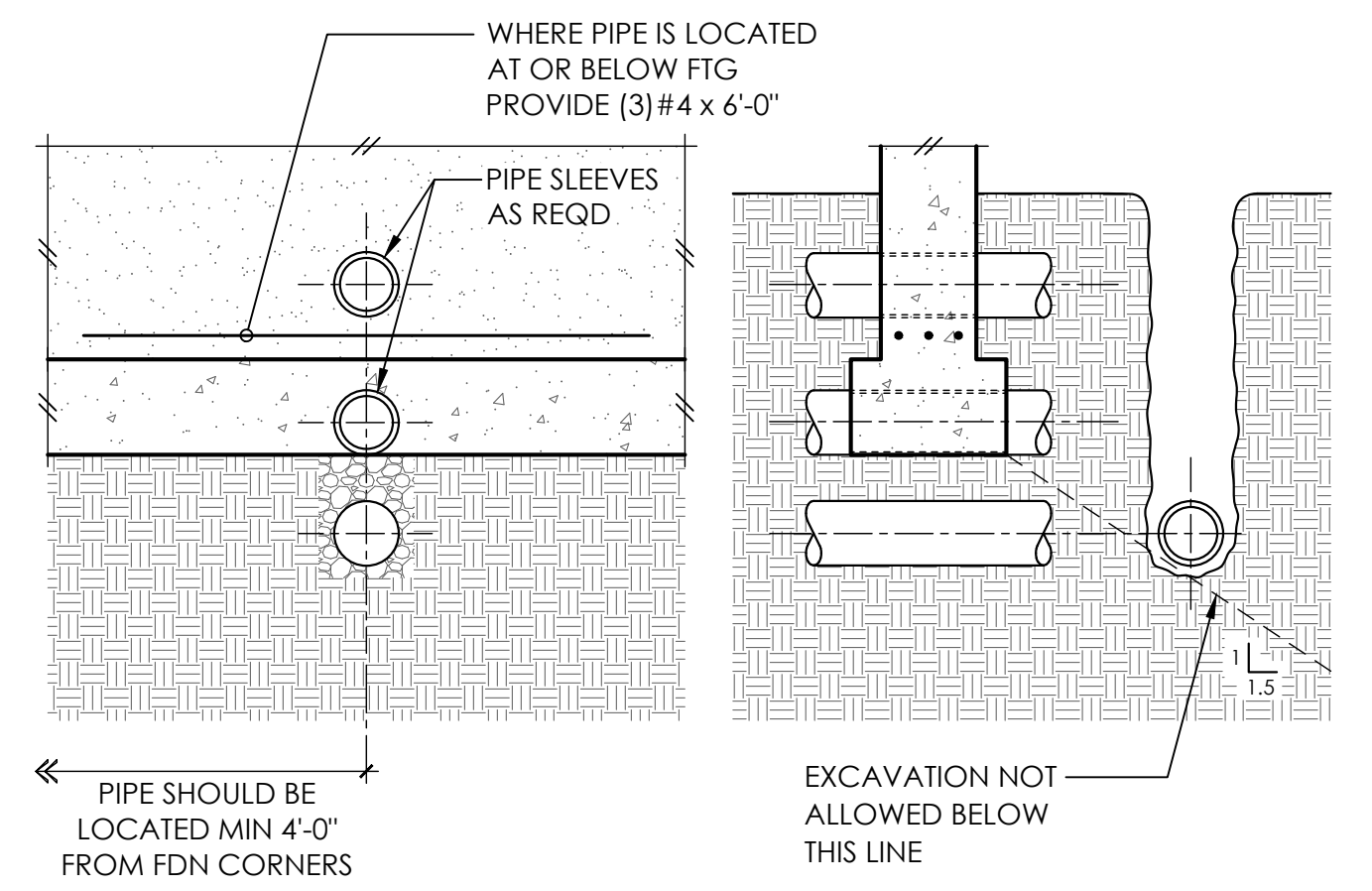
1 TYPICAL SLAB JOINTS **2**



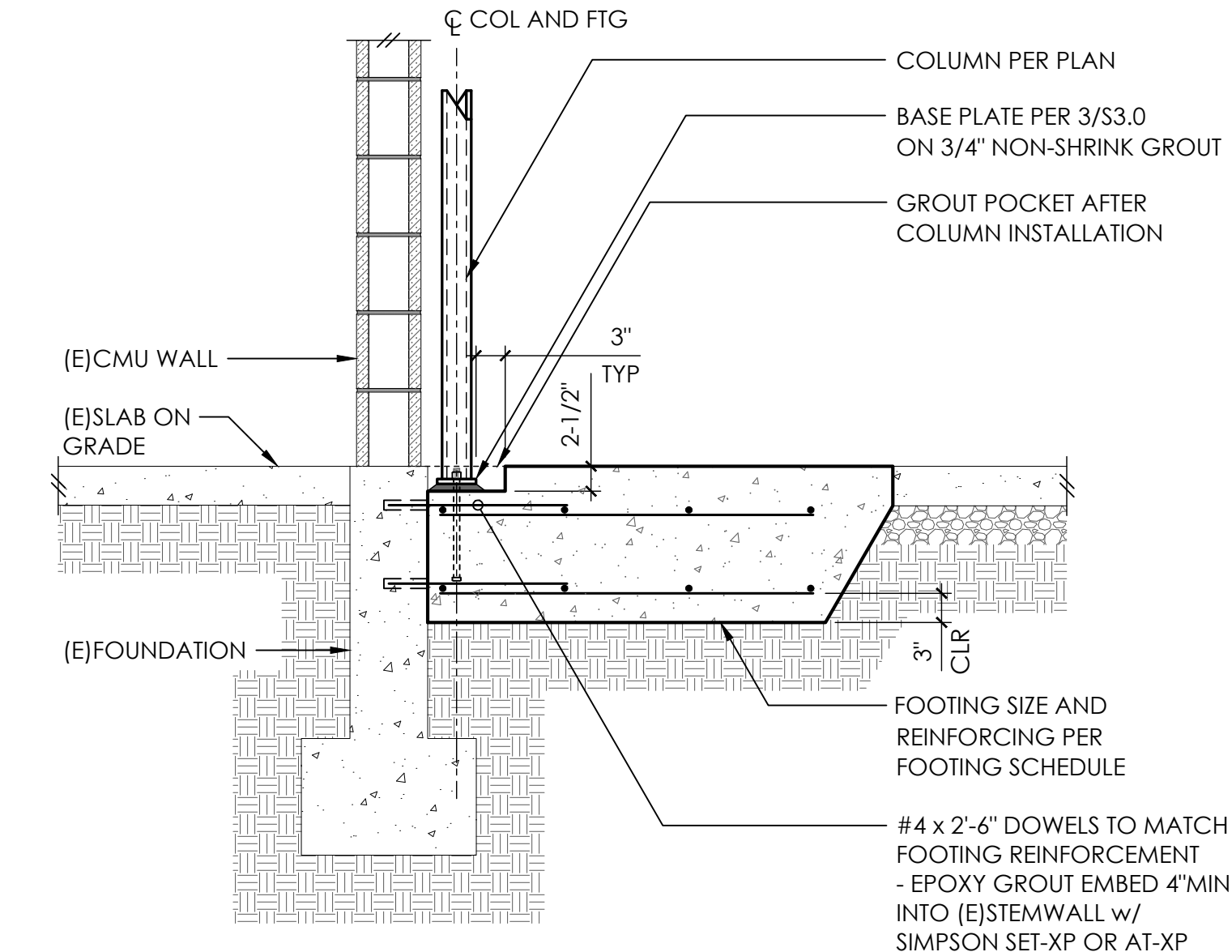
3 BASEPLATE - HSS COLUMN **3**



4

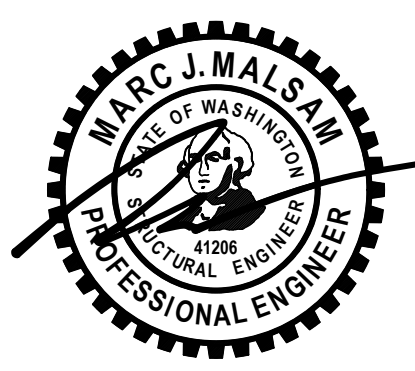


5 PIPE AND TRENCH LOCATIONS **6**



7

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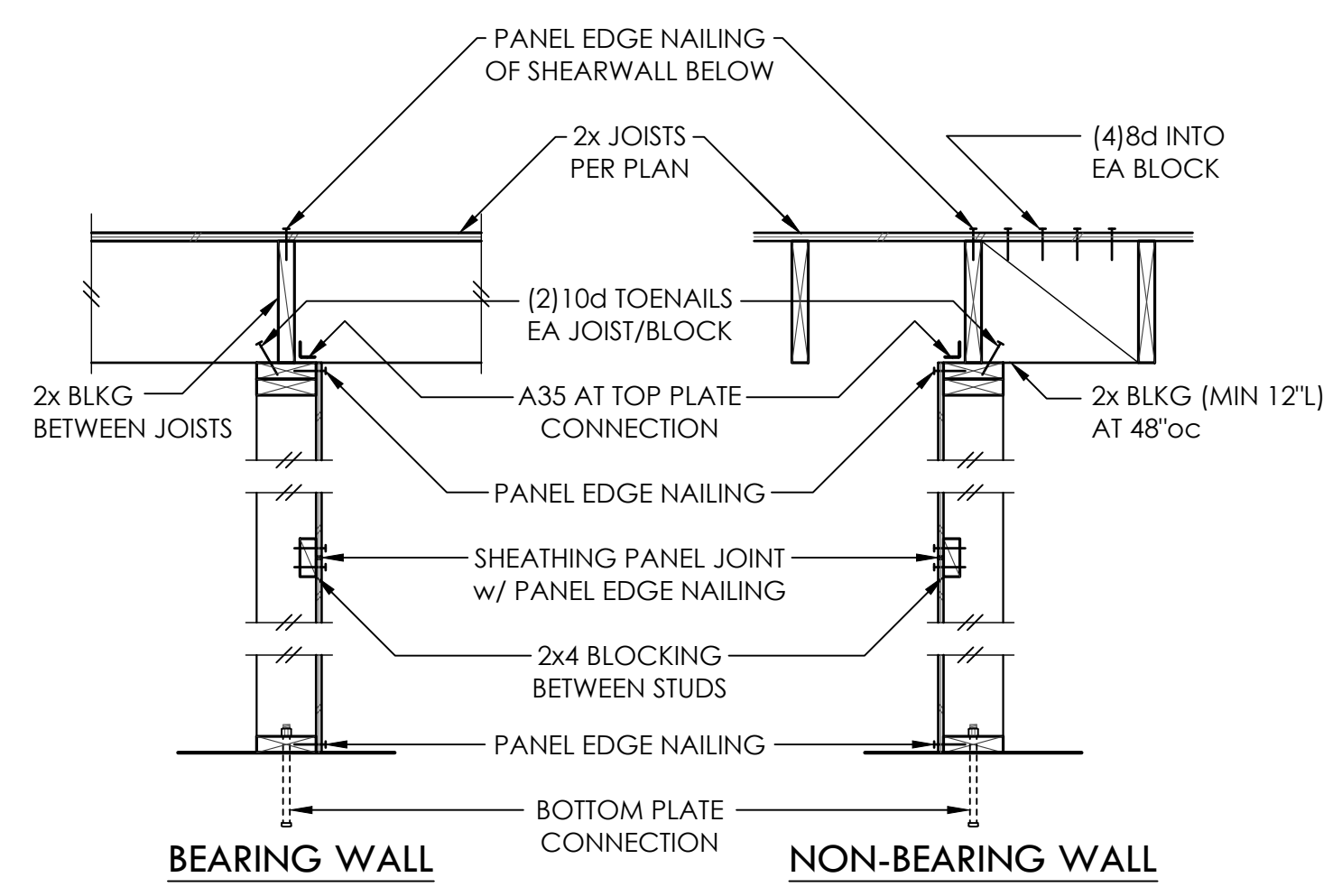
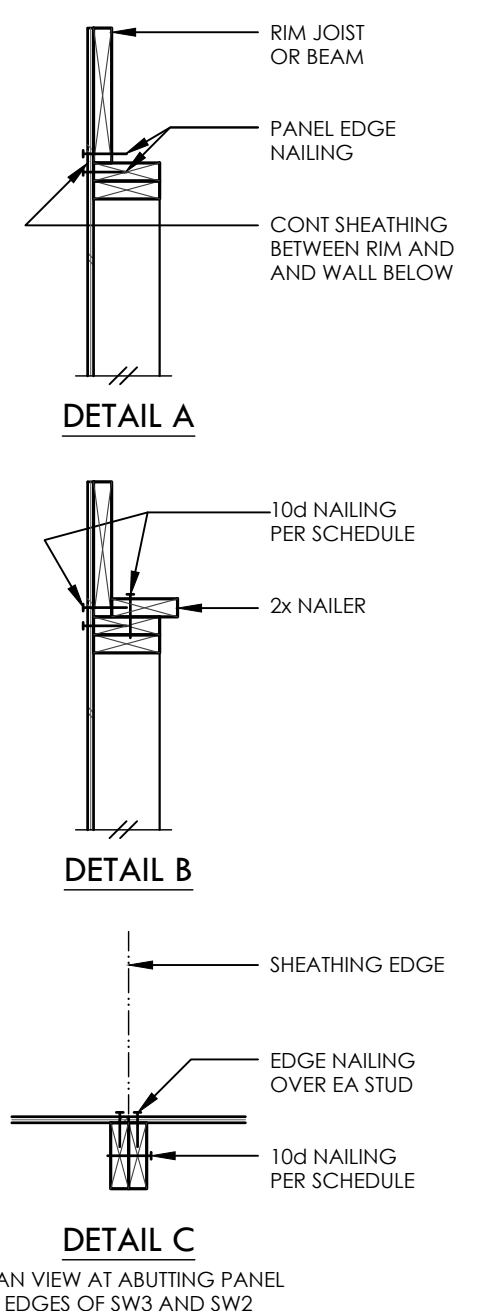
TYPICAL CONCRETE DETAILS

S3.0
SCALE - 3/4" = 1'-0"

SHEARWALL SCHEDULE

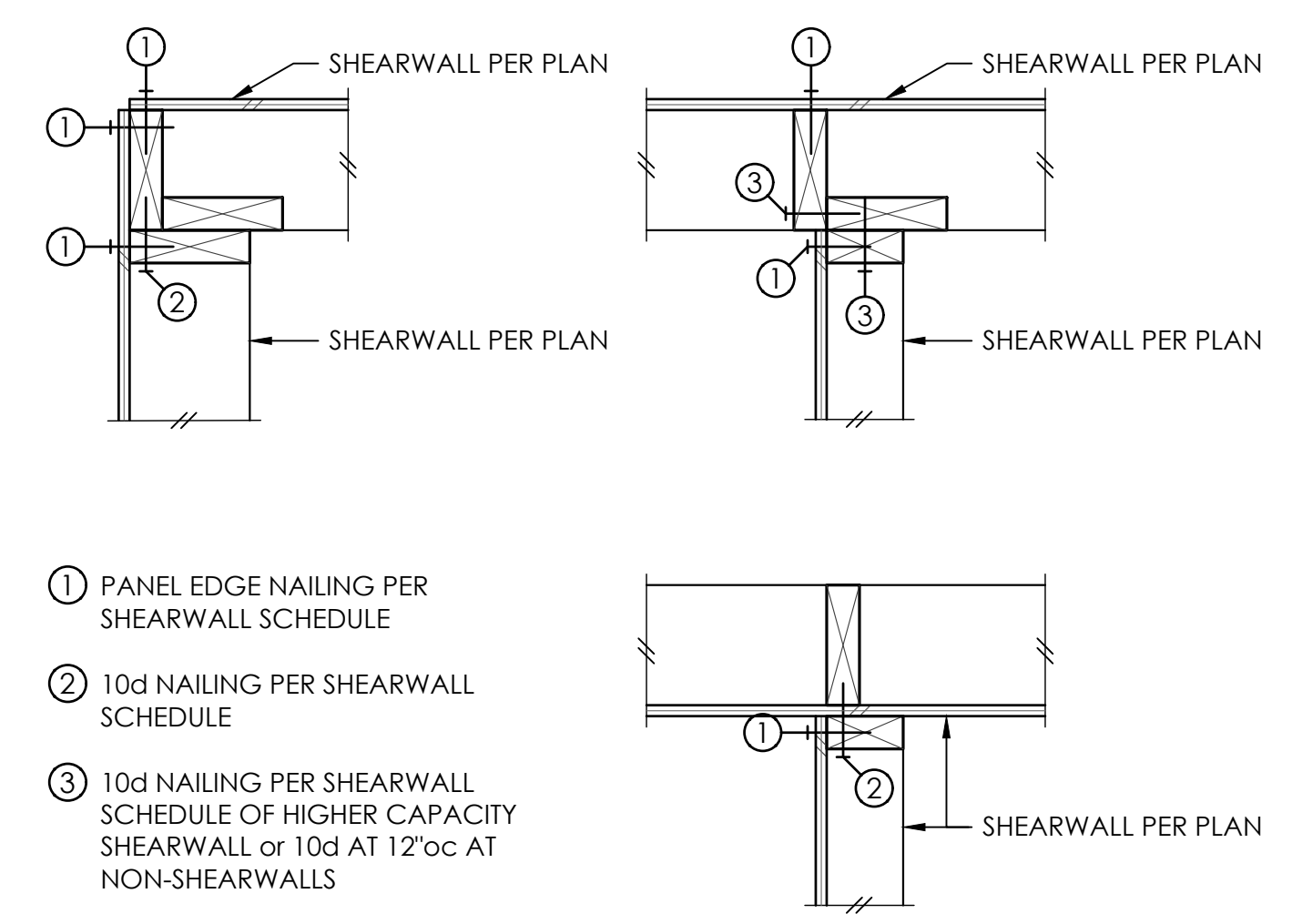
MARK	SHEATHING	PANEL EDGE NAILING	TOP PLATE CONNECTION		BASE PLATE CONNECTION	
			TJI/2x	RIM/BEAM	AT WOOD	AT CONCRETE
SW6	1/2" PLY or 7/16" OSB	8d AT 6"oc	10d AT 6"oc	A35 AT 30"oc	12d AT 6"oc	5/8" AB AT 48"oc
SW4	1/2" PLY or 7/16" OSB	8d AT 4"oc	10d AT 4"oc	A35 AT 18"oc	12d AT 4"oc	5/8" AB AT 42"oc
SW3	1/2" PLY or 7/16" OSB	8d AT 3"oc	(2)ROWS 10d AT 6"oc	A35 AT 16"oc	(2)ROWS 12d AT 6"oc	5/8" AB AT 36"oc
SW2	1/2" PLY or 7/16" OSB	8d AT 2"oc	(2)ROWS 10d AT 4"oc	A35 AT 12"oc	(2)ROWS 12d AT 4"oc	5/8" AB AT 24"oc

- ① BLOCK PANEL EDGES WITH 2x4 LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d AT 12"oc.
- ② 8d NAILS SHALL BE 0.131"Ø x 2-1/2", 10d NAILS SHALL BE 0.131"Ø x 3", AND 12d NAILS SHALL BE 0.131"Ø x 3-1/4".
- ③ EMBED CAST IN PLACE ANCHOR BOLTS AT LEAST 7". EPOXY EMBED POST INSTALLED 5/8"Ø THREADED ROD 5" MIN w/ SET-XP OR USE 5/8"Ø x 8" TITEN HD SCREWS, UNO. ALL BOLTS SHALL HAVE 3" x 3" x 0.229" PLATE WASHERS. WASHERS, THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING.
- ④ 3x STUDS OR DBL STUDS NAILED TOGETHER w/ 10d NAILING IS REQD AT ABUTTING PANEL EDGES OF SW3, AND SW2. REFER TO DETAIL C. WHERE 3x STUDS ARE USED, STAGGER NAILS AT ADJOINING PANEL EDGES.
- ⑤ TWO STUDS MINIMUM OR POST PER PLAN ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- ⑥ ALL NEW EXTERIOR WALLS SHALL BE SW6, UNLESS NOTED OTHERWISE.
- ⑦ NAILS SHALL NOT BE SPACED LESS THAN 3/8" FROM EDGES OF SHEATHING. SHEATHING NAILS SHALL BE DRIVEN SO THEIR HEADS ARE FLUSH WITH SHEATHING (NOT COUNTERSUNK).
- ⑧ LTP4'S INSTALLED OVER SHEATHING WITH 8d (0.131"Ø x 2-1/2") NAILS MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- ⑨ A35'S OR LTP4'S MAY BE ELIMINATED PER DETAIL A OR DETAIL B.



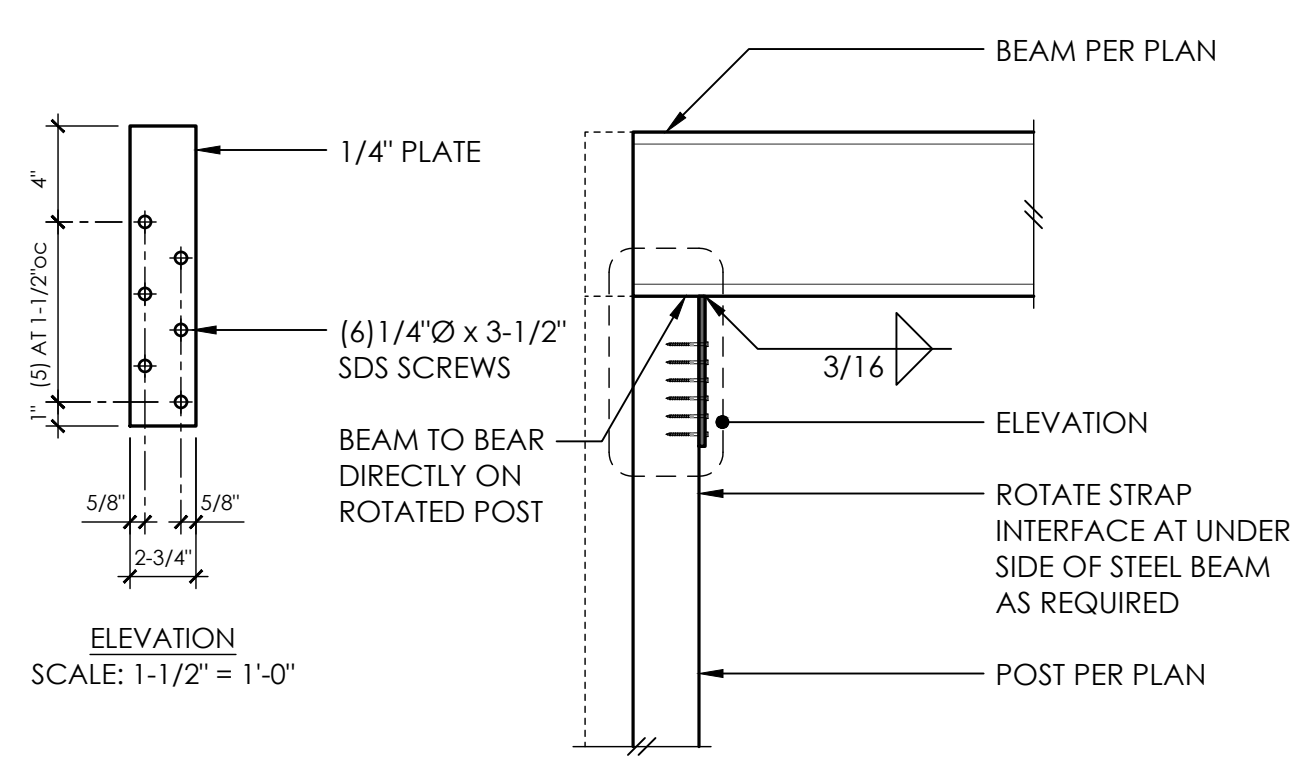
NOTE:
SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, UNO

TYPICAL SHEARWALL CONSTRUCTION 2



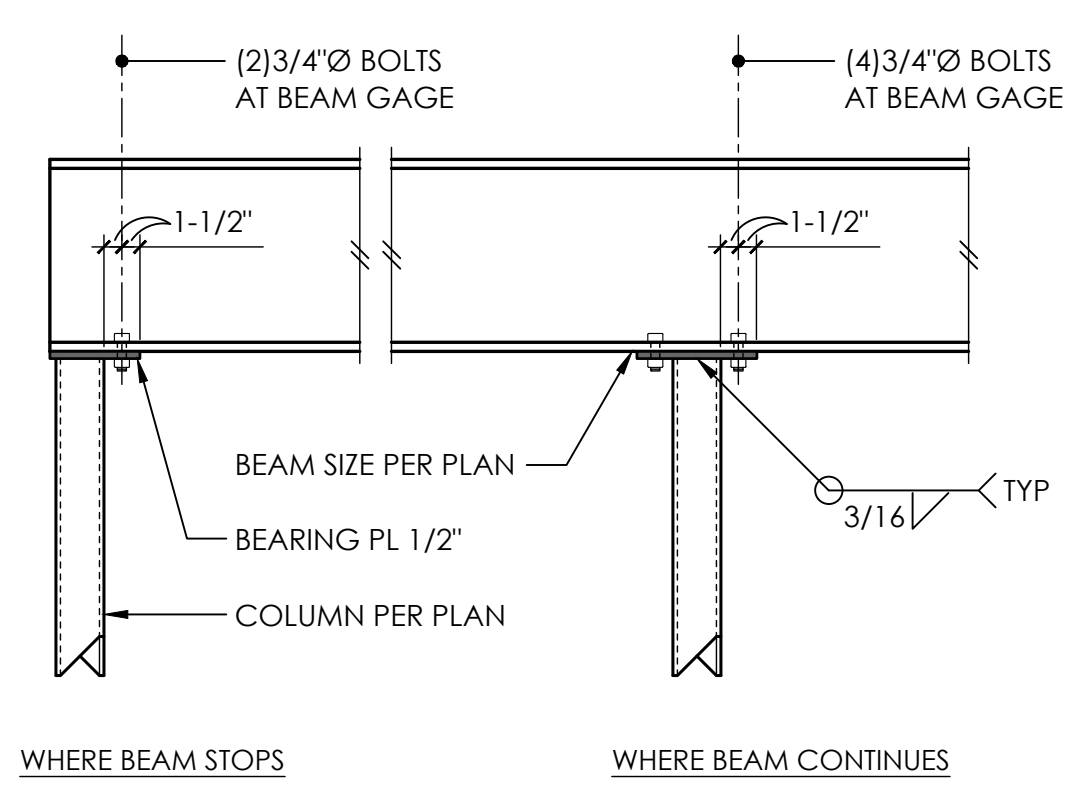
- ① PANEL EDGE NAILING PER SHEARWALL SCHEDULE
- ② 10d NAILING PER SHEARWALL SCHEDULE
- ③ 10d NAILING PER SHEARWALL SCHEDULE OF HIGHER CAPACITY SHEARWALL or 10d AT 12"oc AT NON-SHEARWALLS

SCALE: 1-1/2" = 1'-0"
TYPICAL SHEARWALL INTERSECTIONS 1



ELEVATION
SCALE: 1-1/2" = 1'-0"

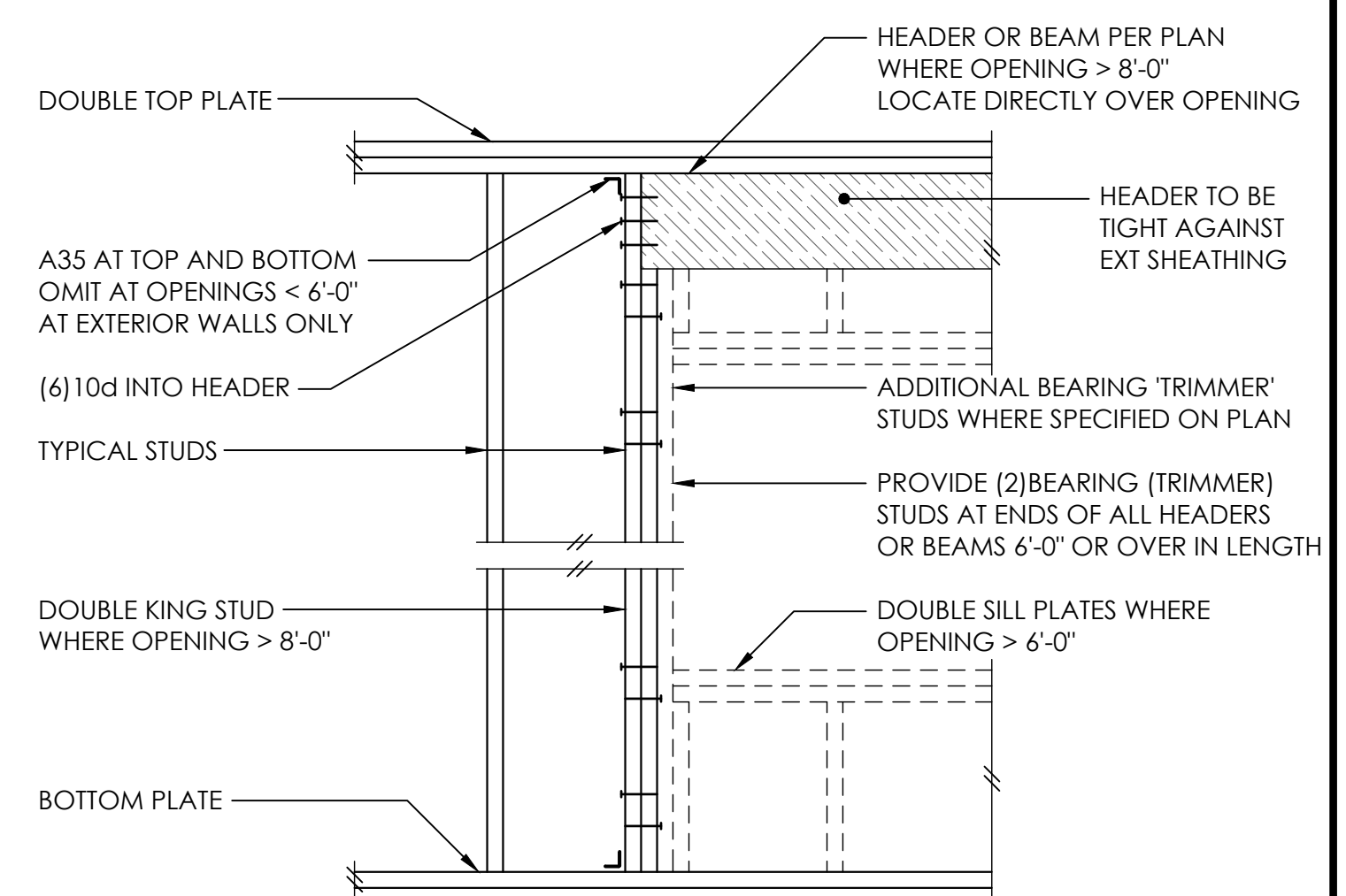
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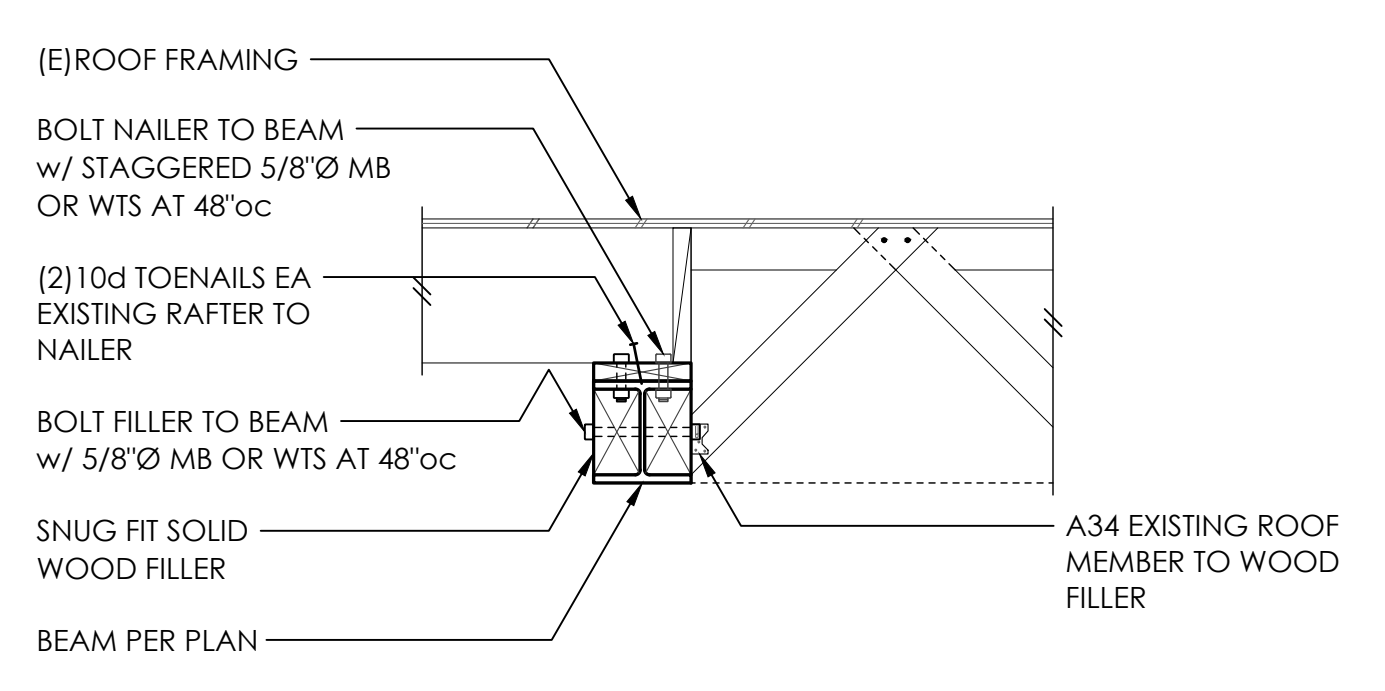
WHERE BEAM STOPS WHERE BEAM CONTINUES

NOTE
BEARING PLATE THICKNESS SHALL BE 3/4" WHERE DEPTH OF SUPPORTED MEMBER EXCEEDS 24"

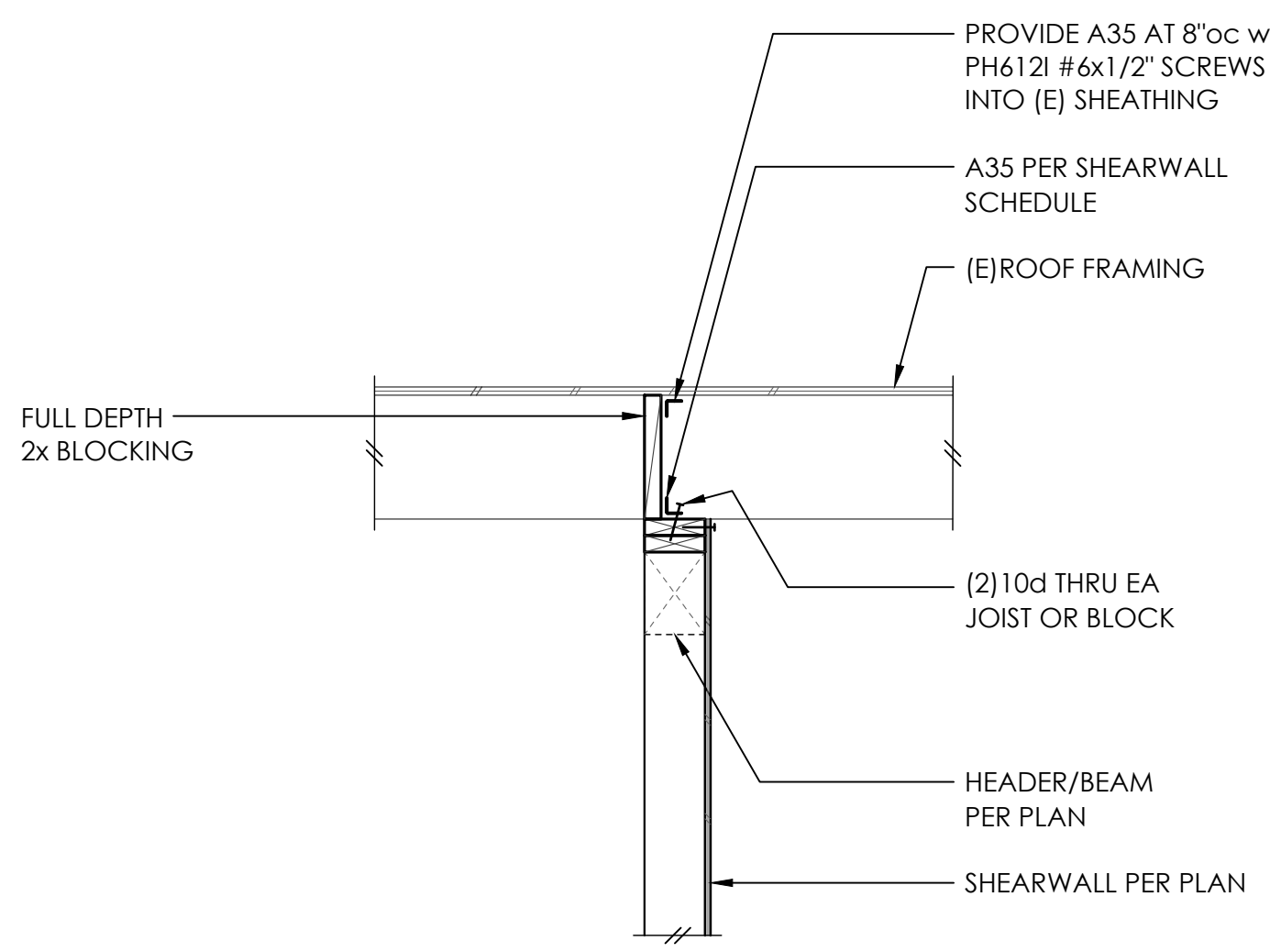
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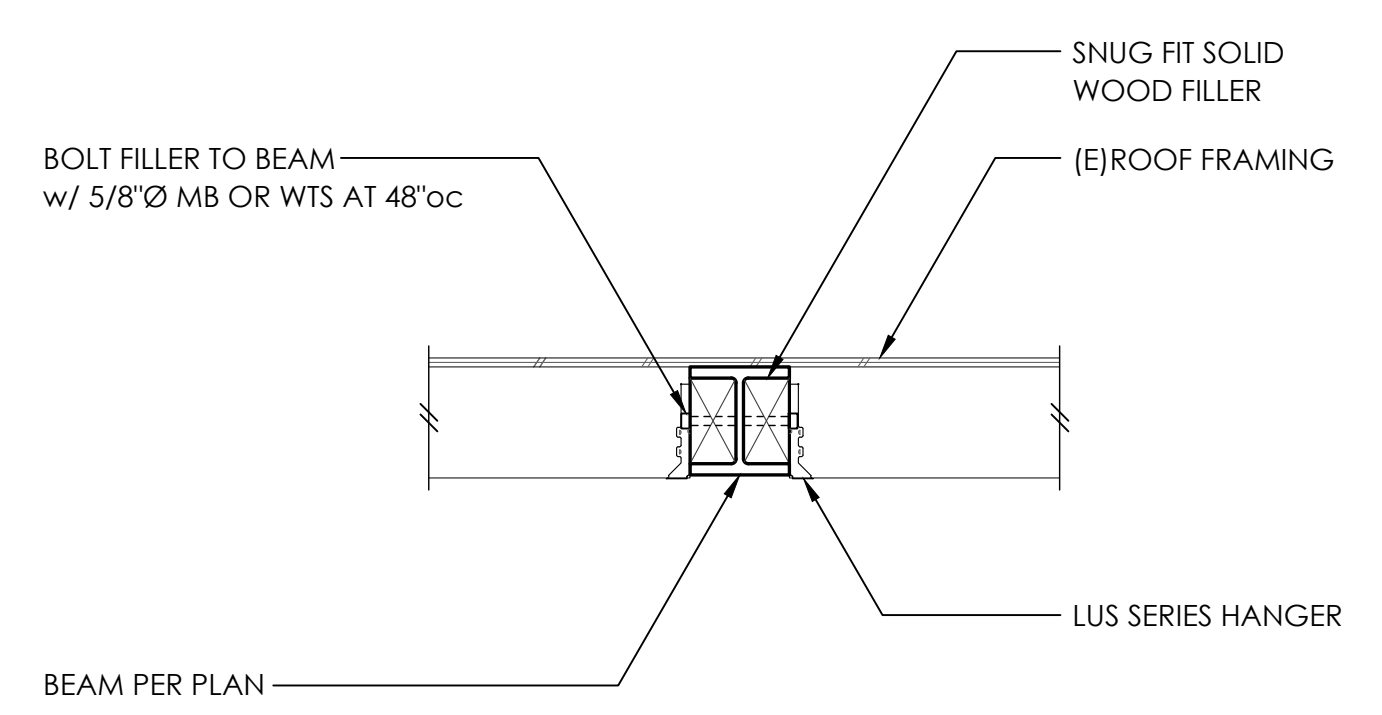
TYPICAL HEADER SUPPORT 8



9



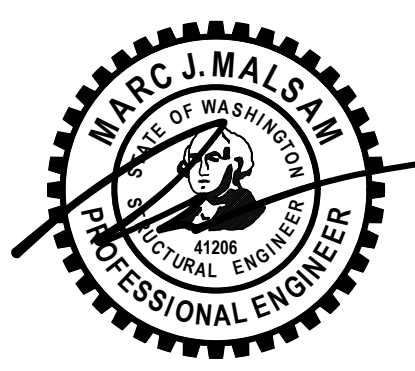
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TYPICAL WOOD FRAMING DETAILS

S4.0
SCALE - 3/4" = 1'-0"