

#### **General Conditions**

- 1. All work shall comply with all applicable codes and ordinances. Any conflicts between the codes and the construction documents shall be immediately brought to the Architect's attention.
- 2. The Contractor shall be familiar with all mechanical, plumbing, and electrical work on the project. The Contractor shall provide all necessary shafts, openings, bases, curbs, blocking, and structural supports for ducts, conduit and equipment as
- 3. The Contractor shall provide all items, materials, articles, operations and/or methods listed or scheduled on the drawings including all labor, materials, equipment and incidentals necessary and/ or required for completion of the work.
- 4. Prior to the start of construction, the Contractor shall provide the Owner and Architect with a construction schedule, submittal schedule, and a schedule of values for the work to be performed.
- 5. All mechanical, electrical, and plumbing work shall be completed under separate permits, and in compliance with all applicable codes and ordinances. Submit cut sheets or samples of any equipment that will be visible from the finished space to the Owner and Architect for approval prior to installation. Any visible mechanical equipment not submitted and approved may be subject to removal.
- 6. The Contractor shall provide all shoring, bracing, and barricading necessary and as required by codes, to ensure the structural stability of the building and the safety of all who enter the job site during construction.
- 7. The Architect will not be responsible for determining construction means, methods, techniques, sequences or procedures, or for safety precautions or programs in connection with the work. The Architect will not be responsible for any failure of the contractor to complete the work in accordance with the contract documents. The Architect will not be responsible for the acts or omissions of the contractor, sub-contractors, any of their agents or employees, or any other persons performing any of the work.
- 8. The Contractor shall verify all existing conditions and dimensions, and notify Architect of any discrepancy or uncertainty.
- 9. The Contractor shall have a preconstruction meeting with Owner, Architect, and major Sub-contractors prior to the start of the work.
- 10. Do not scale drawings. Written dimensions take precedence over scaled dimensions. Details take precedence over general conditions.
- 11. Existing dimensions are to face of finish & new dimensions given are to face of framing unless otherwise noted.
- 12. No change in scope or intent of the work shall be made without approval of the Architect and Owners. Any work completed which deviates from intended scope without prior approval can be rejected and subject to removal and replacement at the Contractor's expense.
- 13. Floors and walls are to be finished under and behind casework and equipment, except as specifically shown otherwise on the drawings.
- 14. Shop drawings, submittals and/or material samples shall be prepared and reviewed for conformance with the Contract Documents by the Contractor and submitted to the Architect for review. Allow 10 working days for Architect's review. Send at least three copies of every submittal, more if Contractor or Sub-contractors need multiple copies. Every effort will be made to turn submittals around as quickly as possible.

The following submittals are required:

- All finish materials, including paint colors
- Casework, custom furniture and installations Doors, Windows, and Frames
- Hardware, fittings and fixtures
- All visible HVAC equipment (cut sheets OK) • All visible electrical equipment (cut sheets OK)
- All paint and finish samples must be approved by Owners. Roll-out a 4' x 4' section of each wall paint color in the space and paint a 6' length of all trim pieces for Owner approval prior to purchase of full paint order. Do not proceed with painting until these roll-outs are approved.
- 15. Alternatives and substitutions to drawings and specifications may be acceptable, but must be approved by the Architect and Owner. Any item substituted without approval may be subject to removal. Any alternatives or substitutions must be compliant with applicable building and energy codes.
- 16. Contractor shall verify locations of wall mounted accessories and backing for accessories with Owner prior to closing of the walls.
- 17. Contractor shall provide the necessary containers for trash removal and keep the work area reasonably clean at all times.
- 18. During demolition and construction the Contractor shall protect all new work and existing work to remain, including surfaces, building components, and landscape. Damage or disturbance to existing to remain building or landscape elements shall be promptly restored, repaired, or replaced to match existing at no cost to the Owners.
- 19. The Contractor shall be responsible for the removal of all debris from wall and joist spaces before enclosure, from crawl and attic spaces before completion, and from the site before substantial completion.
- 20. Upon completion of the work, the Contractor shall complete a thorough cleaning and touch-up of any marked or damaged materials or surfaces in the area of work and in any other areas of the building affected during construction.

21. At the Owners' request, when the Contractor considers work substantially complete, notice may be made to Architect. Upon inspection of the work, the Architect will either prepare a "punch-list" of deficiencies in the work or the Architect will accept the work as being substantially complete. If the work is accepted, the certificate of substantial completion will be prepared, accompanied by the Contractor's list of items to be completed or corrected, as verified and amended by Architect and Owner. The Owner and Contractor must accept the responsibilities assigned to them in the certificate. Substantial completion is defined as that point in the project when the job is sufficiently complete, in accordance with the Contract Documents, that the Owners can occupy or utilize the Work or a designated portion thereof for the use for which it is intended. The final inspection performed by the governing agencies shall be signed-off at or before substantial completion.

- 22. At substantial completion, the Architect will make one trip to the job site to review the work and prepare the punch-list, and a second trip to verify that all outstanding punch-list items have been completed. Subsequent job site visits which are required to review unfinished punch-list items shall be at the Contractor's sole expense, to be deducted from the final payment.
- 23. When the work is accepted as substantially complete, the Contractor shall prepare the necessary closeout submittals. The project will not be considered complete without satisfaction of all lien releases as agreed upon between the Owner and
- 24. A 10% retention on all monthly billings and progress payments will be held until the final and complete acceptance of all work by Owner.
- 25. Upon acceptance of the Work, the Contractor will submit to the Owner a tabbed three ring binder and PDF containing the following items:
- Product and equipment guarantees
- Warranties Operating and maintenance information on equipment and specialized building components used in the project
- Special maintenance information for finishes used in the project, as
- A list of sub-Builders involved in the job, their addresses and phone numbers. Copies of all approved submittals.
- 26. Final payment will be made after closeout submittals are complete and based on
- the agreement of final payment in the contract between Owner and Contractor.
- 27. Unless waived by the Owner, invoices submitted to the Owner shall be submitted to the Architect at the same time for the Architect's review. Invoices shall include a complete "schedule of values" and shall indicate percentage complete for each line
- 28. The Contractor shall verify field conditions prior to commencement of each portion of the Work.
- 29. The Contract Documents are complementary, and what is required by one shall be binding if required by all. The Contractor shall coordinate all portions of the work as described in the Contract Documents. Notify the Architect for resolution of all discrepancies prior to construction, or immediately during construction.
- 30. Material load-in/trash removal to occur before 7 am or after 6 pm or as directed by building management.

- A. All wood in contact with concrete shall be pressure-treated.
- B. Provide solid blocking behind all wall-mounted fixtures and accessories. C. At all existing walls, ceiling and roof cavities that are exposed due to work,
- provide insulation as required by code. D. Seal tears in insulation with tape.
- E. floor-to-floor dimensions from top of sub-floor to top of sub-floor, unless noted otherwise.
- 5. door returns shall be 4" typical, unless noted otherwise.
- G. contractor to confirm window and door rough openings requirements with
- manufacturer(s).
- H. throughout this set of drawings, the term "owner" refers to the "tenant." the term "landlord" refers to the "property owner."
- MEP deferred submittals

- reflected ceiling plan
- plumbing permit under deferred submittal plumbing plan and fixture schedules

<u>parcel number:</u>

ASA Mercer Island, LLC <u>tenant:</u> 2690 76th ave SE #101

tenant improvement to establish a cocktail bar in an existing <u>project description:</u> retail space in the mercer island downtown core. scope of work to include interior renovations and minor exterior improvements, involving the replacement of existing storefront glazing, the addition of new folding glass doors,

and the modification of an existing door and window to meet

mercer island, WA 98040

operational needs.

MC GILVRAS ISLAND ADD POR 5-6 SWLY OF NORTH <u>legal description:</u>

531510-1506

MERCER WAY LESS RD PLat Block: 18 Plat Lot: 5-6

TC-5 <u>zoning:</u> 8,450 sf <u>lot area:</u>

1,896 sf building footprint: 668 sf <u>tenant area:</u>

V-B unsprinklered construction type:

office (B) / retail (M) <u>existing use:</u> restaurant (B per IBC 303.1.1) proposed use:

PRE21-060 pre-application meeting:

<u>landscaping:</u>

project team

Contact: Hill Harper

existing (no change) <u>setbacks:</u>

existing (no change) building height:

existing (no change); parking stalls to be shared between <u>parking:</u> Engel & Volkers and ASA. compatible hours of operation per

existing (no change)

MICC 19.11.130B.e.ii

Contact: Warren Cent

<u>primary tenant:</u> Engel & Volkers Bill Suttell 1401 E Coral Cove Dr 2690 76th ave SE #100 Gilbert, AZ 85234 Mercer Island, WA 98040 Phone: (206) 999-4799 Contact: Ann Klein

Email: bill.suttell@yahoo.com Phone: (206) 300-2700 Email: ann.klein@evrealestate.com sub-tenant, TI space (scope of work): <u>structural engineer:</u> ASA Mercer Island, LLC Malsam Tsang Structural Engineering 2690 76th Ave SE #101 122 S Jackson St, Suite 210 Seattle, WA 98104 Mercer Island, WA 98040

(323) 309-1632 (206) 604-6814 Phone: Phone: WarrenC@malsam-tsang.com Email: hillharper@gmail.com Email: contractor: Atelier Drome Architecture + Interior Design Construction Expeditors 112 Prefontaine Place South 1002 N Meridian Ste 100-227

Puyallup, WA 98371-4409 Seattle, Washington 98104 Contact: Jeff Pinorini Applicant: Henry Walters Contact: Angela Tam (206) 595-8852 Phone: Email: (206) 395-4392 x 104 jeff@constructionexpeditors.com angela.tam@atelierdrome.com WA Contractor Lic #: CONSTEL920CR

mechanical permit under deferred submittal hvac plans and equipment schedules

electrical permit under deferred submittal

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## <u>orientation</u>

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a0.1

# <u>architectural</u>

a1.0 a2.0 floor plan - existing & demo a2.1 floor plan - proposed

project information

existing and proposed building elevations restroom accessibility

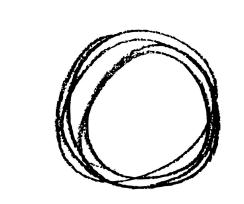
typical wood framing details

## <u>structural</u>

- general structural notes s1.1 general structural notes s2.1 foundation plan
- s2.2 roof framing plan s3.0 typical concrete details

Permit / Design Review Intake

05.05.2022



ATELIER DROME architecture + interior design

> 112 prefontaine place s seattle, wa 98104 www.atelierdrome.com

presubmittal # PRE21-060

2690 76th Ave SE #101 Mercer Island, WA 98040

project information

- ASA Smoked Salmon Poke Waffle & Rice Bowl
- ASA Spicy Tofu Waffle & Rice Bowl ASA Smoked Tri-Tip Waffle & Rice Bowl
- ASA Smoked Oysters Waffle & Rice Bowl
- ASA Smoked Chicken Waffle & Rice Bowl
- ASA Fried Chicken Waffle & Rice Bowl ASA Lavender Flavored Popcorn Bowl
- ASA Standard Charcuterie Plate
- ASA Vegan Charcuterie Plate ASA Cheddar Tortilla Chips w/ Pico De Gallo ASA Vanilla, Chocolate, Swirl Waffle Cone

### hours of operation:

sunday	5:00 pm - 10:00 pm
monday	5:00 pm - 10:00 pm
tuesday	5:00 pm - 10:00 pm
wednesday	5:00 pm - 10:00 pm
thursday	5:00 pm - 10:00 pm
friday	5:00 pm - 12:00 am
saturday	5:00 pm - 12:00 am

# <u>egress diagram legend</u> exit access travel distance # of occupants per exit (n) Restroom Back of House (e) adjacent suite (not in scope) Circulation Seating Area 2

# occupancy diagram legend business areas commercial kitchen assembly without fixed seats, unconcentrated seating assembly without fixed seats, concentrated seating Back of House Circulation 110 SF

# occupancy load calculations

Location	Occupancy Type	Load Factor	Area Type	Area	# of Occupants
Bar Seating	Assembly without fixed seats, Concentrated (chairs only)	7 SF	Net	27 SF	4
Seating Area 1	Assembly without fixed seats, Unconcentrated (tables and chairs)	15 SF	Net	55 SF	4
Seating Area 2	Assembly without fixed seats, Unconcentrated (tables and chairs)	15 SF	Net	207 SF	14
Circulation	Business areas	150 SF	Gross	110 SF	1
Back of House	Kitchens, commercial	200 SF	Gross	54 SF	1
Bar	Kitchens, commercial	200 SF	Gross	161 SF	1
Total Occupancy		•	•		25

plumbing fixture calculations		seat count	
bathroom calculations		bar seating seating area 1	4 4
occupancy	# occupants	seating area 2	8
restaurant / bar (IBC 2902.2 exception 4)	25	total	16

water closets		
load factor -	total required WC	total provided
1 per 30	1	1
<u>lavatories</u>		
load factor - total occupancy	total required lay	total provided

painted wood base trim

# finish schedule

1 per 30

floors: kitchen: bar & dining: restroom:	black rubber mats over sealed concrete sealed concrete sealed concrete	walls: kitchen & restroom: all else: paint:	tile or FRP new paint on gwb walls gloss or semi-gloss in food areas
<u>baseboards:</u> kitchen & bar: restroom:	rubber or tile cove base trim rubber or tile cove base trim	<u>ceilings:</u> kitchen & bar:	existing exposed ceiling, no plumbing over food prep area

existing gwb ceiling, painted

2018 international building code 2018 international mechanical code 2018 national fuel gas code 2018 uniform plumbing code

state environmental policy act (SEPA) mercer island land-use/zoning code ICC/ANSI A117.1-2009 accessibility

all work to conform to the IFC (2018 edition). provide smoke detectors per

\* washington state amendments to codes listed

additional code notes

(n) Restroom

(e) adjacent suite

///(not in scope)

2018 stormwater code

2017 national electrical code

2018 international fire code

2018 washington state energy code

a room or space used for assembly purposes with an occupant load of less than 50 persons shall be IBC 303.1.2.1

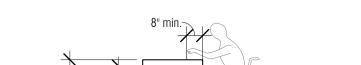
classified as a Group B occupancy.

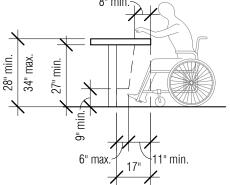
100 ft max, B occupancy (without sprinkler system) <u>egress</u> IBC 1006.2.1

<u>dining areas</u> min. 5% (but not less than 1) of dining surfaces for the seating and standing spaces shall be accessible, IBC 1108.2.9.1 located on an accessible route, and distributed though the facility.

total seating:  $16 \times 5\% = 1$  accessible seats required, provided

knee and toe clearance to comply with ICC A117.1-2009 section 306. <u>accessible surfaces</u> ICC A117.1-2009





separate facilities shall not be required in spaces primarily used for drinking or dining with a total <u>restrooms</u> separate facilities occupant load, including both employees and customers, of 30 or fewer. IBC 2902.2

exception 4

section 306

alterations to any building or structure shall comply with the requirements of section C503 and the code for new construction. alterations to an existing building, building system or portion thereof shall conform to the provisions of this code as they relate to new construction without requiring the unaltered portions of the existing building or building system to comply with this code.

exception: the following alterations need not comply with the requirements for new construction provided the energy use of the building is not increased:

• existing ceiling, wall or floor cavities exposed during construction provided that these cavities are insulated to full depth with insulation having a minimum nominal value of R-3.0 per inch

Review Intake

installed per section C402. • construction where the existing roof, wall or floor cavity is not exposed.

• air barriers shall not be required for roof recover and roof replacement where the alterations or renovations to the building do not include alterations, renovations or repairs to the remainder of the building envelope.

• replacement of existing doors that separate conditioned space from the exterior shall not require the installation of a vestibule or revolving door, provided however that an existing vestibule that separates a conditioned space from the exterior shall not be removed.

<u>change in space</u> <u>conditioning</u> WSEC C503.2

any low energy space in accordance with section C402.1.1.1 that is altered to become conditioned space or semi-heated space shall be brought into full compliance with this code. any semi-heated space in accordance with section C402.1.1.2 that is altered to become conditioned space shall be brought into full compliance with this code.

new building envelope assemblies that are part of the alteration shall comply with sections C402.1

WSEC C503.3 through C402.5 as applicable. roof replacements shall comply with table C402.1.3 or C402.1.4 where the existing roof assembly is part <u>roof replacement</u>

WSEC C503.3.1 of the building thermal envelope and contains insulation entirely above the roof deck. where some or all of an existing fenestration unit is replaced with a new fenestration product, including <u>replacement</u>

<u>fenestration</u> sash and glazing, the replacement fenestration unit shall meet the applicable requirements for u-factor WSEC C503.3.2.1 and SHGC in table C402.4. exception: an area-weighted average of the U-factor of replacement fenestration products being

installed in the building for each fenestration product category listed in table C402.4 shall be permitted to satisfy the u-factor requirements for each fenestration product category listed in table C402.4. individual fenestration products from different product categories listed in table C402.4 shall not be combined in calculating the area-weighted average u-factor.

the addition of skylights that results in a total building skylight area less than or equal to that specified in <u>skylight area</u> WSEC C503.3.3 section C402.4.1 shall comply with section C402.4.

those parts of systems which are altered or replaced shall comply with section C403. additions or <u>mechanical systems</u> WSEC C503.4 alterations shall not be made to an existing mechanical system that will cause the existing mechanical system to become out of compliance.

all new mechanical systems in existing buildings shall comply with Section C403.

new service hot water systems that are part of the alteration shall comply with Section C404. service hot water

<u>systems</u> WSEC C503.5

alterations or the addition of lighting, electric receptacles and motors shall comply with sections <u>lighting</u> WSEC C503.6 C503.6.1 through C503.6.6.

# energy table (WSEC C402)

zone	fenestration u-factor max	skylight u-factor max	roof R-value	wood framed wall R-value	mass wall R-value	slab-on-grade R-value
marine 4	fixed: 0.38 operable: 0.40 entrance doors: 0.60	0.50	R-38 ci min.	R-21 int.or R-15+5ci std, min.	R-9.5 ci	unheated: R-10 for 24" blw. heated: R-10 perimeter & under entire slab



05.05.2022



112 prefontaine place s seattle, wa 98104 www.atelierdrome.com

presubmittal # PRE21-060

2690 76th Ave SE #101 Mercer Island, WA 98040

code information

#### design review project narrative

ASA, the tenant, would like to open a cocktail lounge within the approx. 668 sf ground floor commercial space located at 2690 76<sup>th</sup> Ave SE, #101, which is adjacent (& attached) to the Engel & Volkers real estate

the single-story building, shared with Engel & Volkers, is constructed of load-bearing CMU perimeter and demising walls, with a wood-framed flat roof. interior non-load bearing walls are constructed of wood.

the tenant wishes to build a cocktail lounge within the existing footprint of the space. however, they would like to open up the perimeter CMU walls to allow more natural light into the space and create a point of visual activation on the street level. doing so will require removing portions of the existing CMU wall and reinforcing with beams to put in a new folding glass door system. additional exterior improvements involve replacing the existing storefront in the existing opening, as well as minor modifications to an existing door and window.

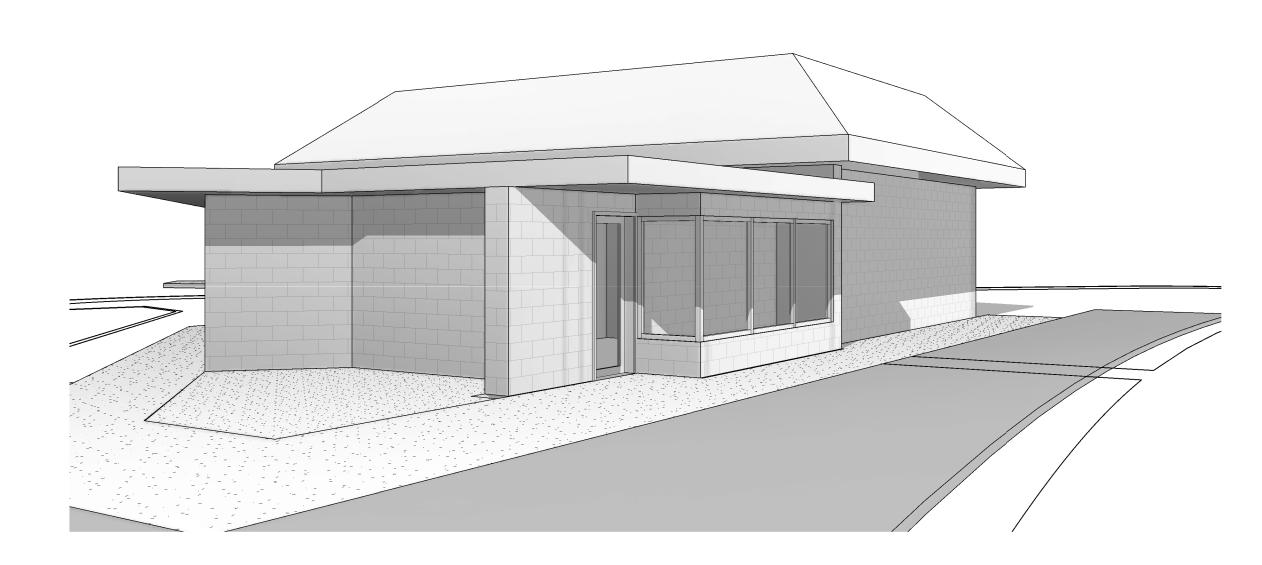
one new restroom is proposed (per IBC 2902.2 exception 4), to be primarily accessed from the exterior. a unique curved bar is proposed for the interior, with the rest of the space functioning as comfortable lounge seating. the existing electrical panels are cost-prohibitive to relocate and will remain in what will become the back of house space for the cocktail lounge.

a change of use/occupancy is necessary and less than 50 occupants are calculated for the new space. therefore, a 2<sup>nd</sup> exit and fire sprinklers are not required.

parking for the evening cocktail lounge shall be shared with Engel & Volker's existing on-site day parking, since the business hours of both businesses will be different.

## design review submittal requirements

- completed pre-application development application sheet
- project narrative title report - waived Tim McHarg email 03.23.2022
- development plan set
- critical area study waived Tim McHarg email 03.23.2022 arborist report - waived John Kenney email 03.24.22
- SEPA checklist waived Tim McHarg email 03.23.2022 transportation concurrency application/certificate - less than 10 trips generated, exempt
- 10. **fees**



proposed - exterior view



### development and design matrix

#### mercer island development and design standards

#### <u>19.11.010 general</u>

# d. design vision

- development and design standards opening more of the building to the sidewalk offers opportunity for storefront activation and pedestrian permeability that does not currently exist at this space. the shared parking agreement allows for parking to leave the storefront access areas unobstructed by vehicles, the site already functions as a through-block connection, so creating an activity hub will
- increase this function. modulation and activated storefronts are distinctly a priority of the proposed work.
- this project deliberately reinforces the objective of a vibrant, healthy, mixed-use downtown. this project will reinforce the existing mixed-use pedestrian environment while also continuing progress toward a dynamic town center core by
- providing an evening cocktail lounge, which is currently an amenity that is not readily available.
- site features creating significantly more transparent storefront that is an appropriate scale for the existing structure will provide a
- welcoming environment for encouraging pedestrian engagement on the street level.
- the function of this project intends to create a welcoming pedestrian environment that will allow this unique parcel to be more than a cross-block connection between existing retail and offices spaces and available parking.
- this project is in an existing building that is already oriented toward the public right of way. newer development has taken e. scale advantage of the 5-story zoning, the scale of the building and related services are at a pedestrian scale, providing some necessary variation in the overall built environment scale.
- the existing building provides height and storefront modulation that creates pedestrian-scale variability and distinction between the f. form uses of both tenant spaces in the building. an existing higher roof on half of the building creates a visual monument for the location of the space while the lower flat roof over the tenant space creates a nod toward pedestrians on the street.
- creating new visibility into the tenant space only further benefits the existing building, providing visual activation and modulation of a blank facade enhances the curb appeal of the existing structure.
- 19.11.015 town center subareas TC-5 subarea. the purpose of the TC-5 subarea is to create a focused mixed use core, oriented toward pedestrian connections and regional transit access. a broad mix of land uses is allowed. buildings may be up to five stories in height.

enhancing the facade, facilitating visual street-level activation brings this building further into compliance with the vision that the city of mercer island has for the town center downtown area. the modifications to this building work toward an enhanced pedestrian-level experience in the downtown core.

<u>19.11.020 - land uses.</u> proposed use, bar, is permitted under TC-5 zoning

<u> 19.11.030 - bulk regulations.</u> existing building is in compliance with TC-5 massing requirements

<u>19.11.040 - affordable housing.</u> affordable housing not pertinent to this site and use

<u>19.11.050 - green building standards.</u> existing building, not applicable

19.11.060 - site design. existing site design to remain. no site elements are proposed to be modified with this scope of work, except for a small existing tree to be removed as it is currently located in front of the proposed folding glass doors (see site plan). there is a small hardscape area that functions as an outdoor patio, with a pedestrian shortcut to reach parking and other retail through the space. this

connection is proposed to be left as-is.

19.11.070 - greenery and outdoor spaces. existing greenery and outdoor spaces to remain. no site work is proposed under this scope of work

19.11.080 - screening. no new site elements that will require screening compliance.

<u> 19.11.090 - lighting.</u> this space intends to provide a softly illuminated space that is a visual activation cue at the street-level. providing visual transparency and articulating doors and windows as to delineate clear entry points will create a sense of cohesion between this

> project and the adjacent pedestrian right of way. the primary intent of the exterior work for this project is to create a cohesive and pleasant building facade that activates street use and integrates well into the pedestrian right of way, this project will be utilizing the proposed folding glass doors to create a sense

of openness.

# 19.11.100 -building design.

1. fenestration a. transparent facades 🦵 b. ground floor window 20 d doors

c. unique design elements

2. street facing facade elements a. window and door treatments to embellish b. decorative light fixtures

opening the visibility of the building facade at street level is a primary objective of the improvements for this space. visual and pedestrian permeability are highly prioritized in our proposed design.

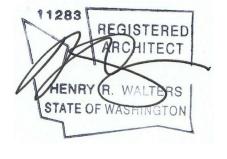
utilizing an transparent and visibly active storefront, door, and proposed folding glass doors will designate this space as a unique and interesting building that is cohesive and welcoming. utilizing soft and decorative lighting features will provide a sense of place and a memorable reference point to the town center.

<u>19.11.110 - materials and color.</u> existing finishes are intended to be maintained for continuity and to embellish the architectural details directly pertaining to the fenestration and doors. high quality systems are intended to be installed along with understated wall material finish and color.

<u> 19.11.120 - street standards.</u> no implications regarding street improvements or changes pertain to the scope of this project.

<u>19.11.130 - parking, vehicular and pedestrian circulation.</u> no modification to parking or vehicular traffic are proposed in this project, the site of this project currently functions as an important pedestrian connection that we believe will be enhanced by a project that activates and orients itself toward the street

<u>19.11.140 - signs.</u> understated and high quality signage is intended to compliment the design choices for this tenant improvement and building improvement. signage will complement the soft-lighting approach and will be proportional to the building storefront and facade.



#### Permit / Design Review Intake

05.05.2022



112 prefontaine place s seattle, wa 98104 www.atelierdrome.com

presubmittal # PRE21-060

2690 76th Ave SE #101 Mercer Island, WA 98040

design review information

ASA tenant:

2690 76th ave se #102 <u>project address:</u> mercer island, wa 98040

project description: tenant improvement to establish a cocktail bar in an existing

retail space in the mercer island downtown core. scope of work to include interior renovations and minor exterior improvements, involving the replacement of existing storefront glazing, the addition of new folding glass doors, and the modification of an existing door and window to meet operational needs.

531510-1506 <u>parcel number:</u>

MC GILVRAS ISLAND ADD POR 5-6 SWLY OF NORTH MERCER <u>building name:</u> WAY LESS RD

PLat Block: 18 legal description: Plat Lot: 5-6

TC-5 <u>zoning:</u> 8,450 sf <u>lot area:</u> 668 sf

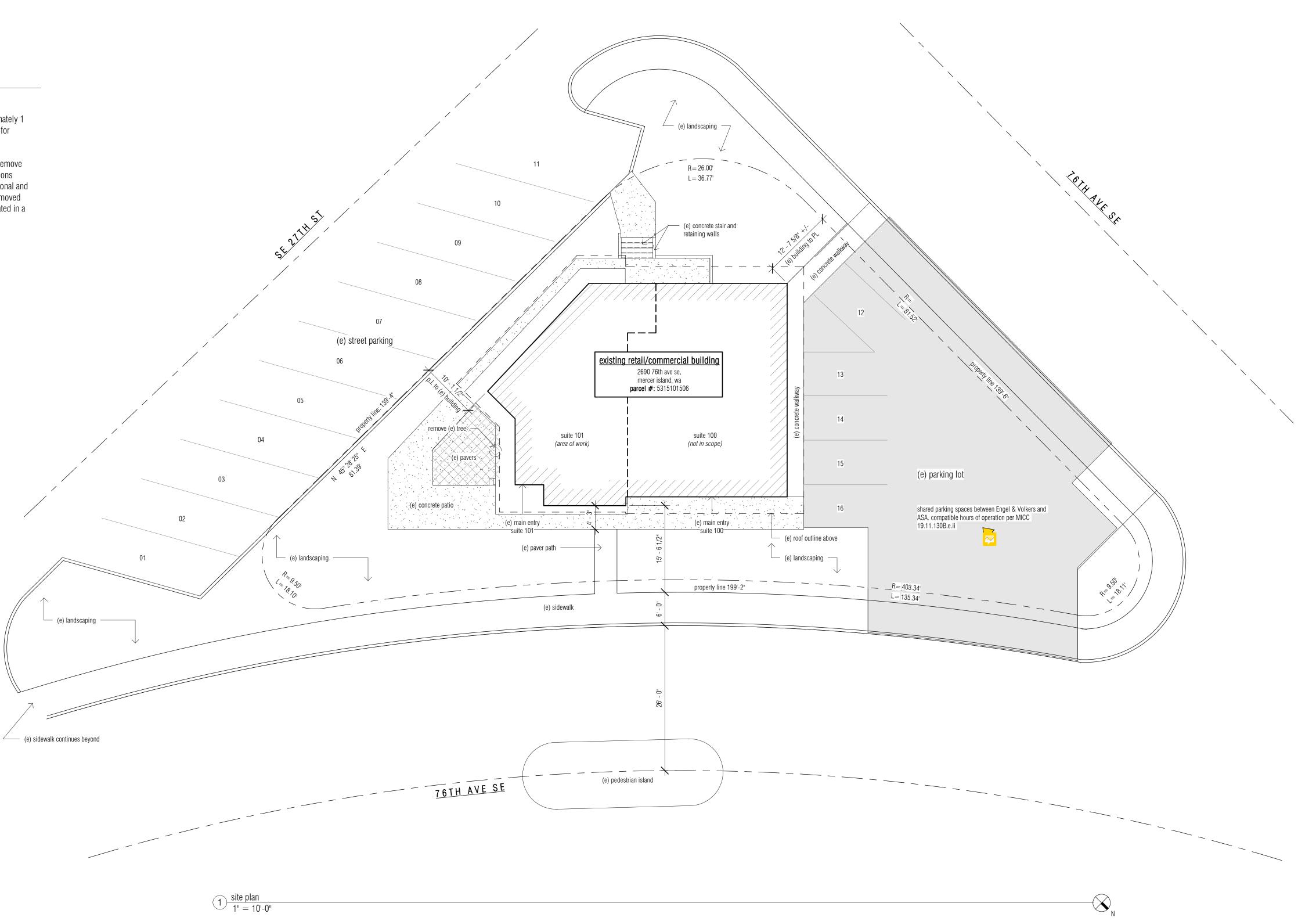
tree removal

tenant area:



tree to be removed is approximately 1 1/2" in diameter. see site plan for location.

a permit is not be required to remove the tree; mercer island regulations allow trees that are not exceptional and under 10" in diameter to be removed without a permit when not located in a critical area.





Permit / Design Review Intake

05.05.2022



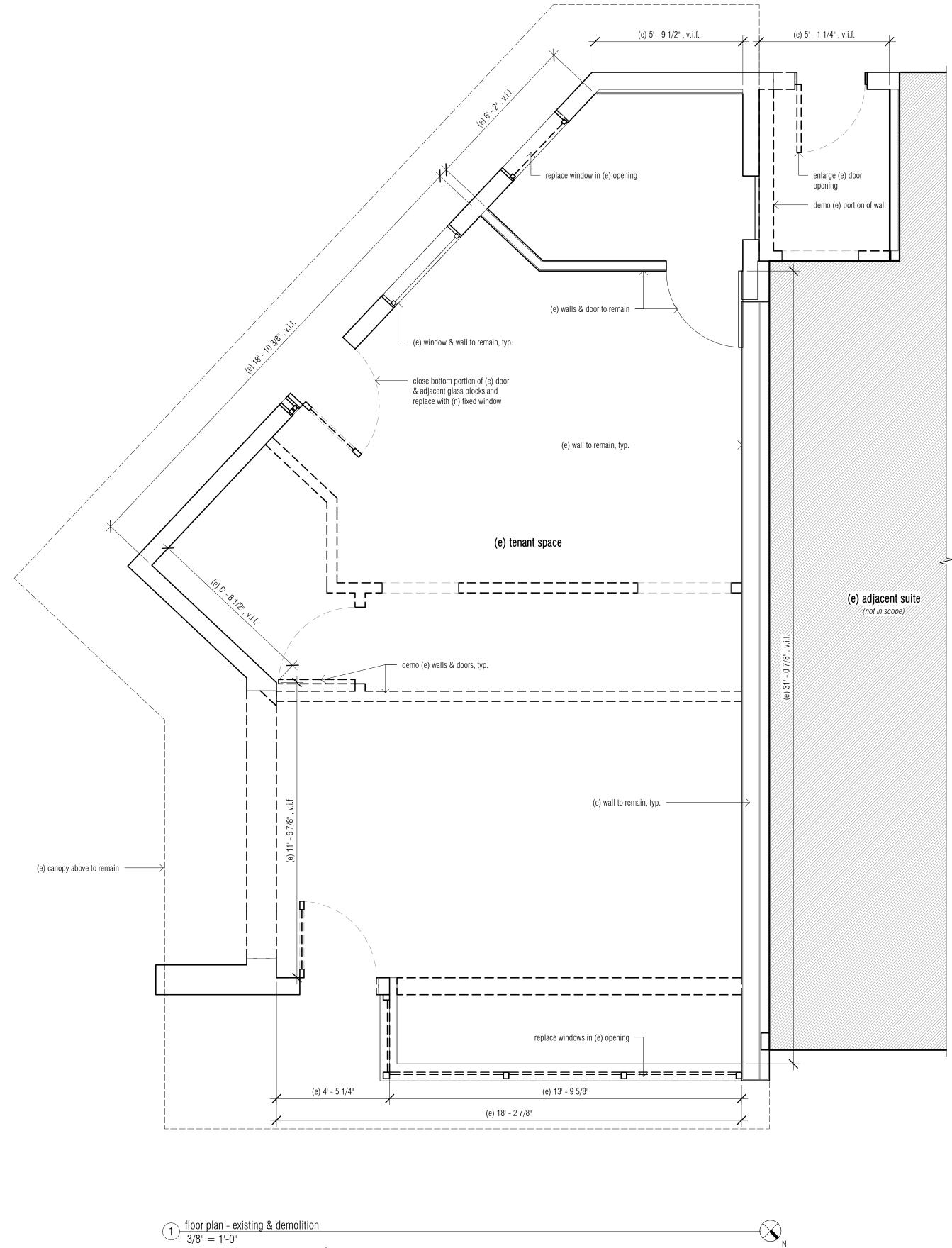
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presubmittal # PRE21-060

2690 76th Ave SE #101 Mercer Island, WA 98040

site plan

demolish





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presubmittal # PRE21-060

2690 76th Ave SE #101 Mercer Island, WA 98040

existing and demo plans

#### equipment schedule

(#)	Quantity	Description	Manufacturer	Model	Width	Depth	Height	BTU/H	Amps	Comments
01	1	24" U.C. Freezer	TRUE	TUC-24F-HC	24"	24 3/4"	31 5/8"		2.3	
02	2	24" U.C. Refrigerator	TRUE	TUC-24-HC	24"	24 3/4"	31 5/8"		2.0	
03a	1	Back Bar Cooler, Refrigerator	Beverage Air	BB48HC-1-S	48"	24 1/2"	34"	1702	2.5	Verify compatibility with draft column tower.
03b	1	Two-Faucet Draft Column Tower	Glastender	CT-2-SS	19"	12"	17 3/8"			Verify compatibility with back bar cooler.
04	1	Hand Sink	Krowne Metal	KR19-1C	12"	19"	36 1/2"			
05	2	Drop-In Hand Sink	Krowne Metal	HS-1419	12"	18"	10"			
06	2	Drop-In Ice Bin with Cold Plate	Advance Tabco	D-12-IBL-7	12"	18"	14"			
07	1	Drop-In Three Compartment Sink	Krowne Metal	HS-3819	36"	18"	10"			
80	1	Mop Sink Storage Cabinet	Eagle Group	F1916-VSCS	24 3/4"	22"	84 1/4"			
09	1	Undercounter Dishwasher	CMA	L-1X	24"	23 1/2"	34"		16.0	
10	1	24" Back Bar Glass Storage	Krowne Metal	KR24-GSB3	24"	24"	36 1/2"			
11	1	Ice Machine with Built-In Storage	HOSHIZAKI	IM-50BAA-LM	19 3/4"	17 3/4"	39 1/2"	1500	5.0	
12	1	24" Slide Top Glass Chiller Mug Frosters	Krowne Metal	MC24S	24"	24"	34"		2.5	
13a	1	Soft Serve Ice Cream Machine w/ 2 Hoppers	Spaceman	6235-C	20 7/8"	25 3/4"	58"			
13b	1	Front Mount Dipperwell	Krowne Metal	16-153L	10"	6"	3 3/8"			
14	1	30" x 60" Stainless Steel Open Base Work Table	Regency	600WTS30X60S	60"	30"	34"			
15	3	24" Glass Rinser Drip Tray	Krome	C460.SS	24"	7"	7/8"			
16	1	24" 3-Tier Liquor Display	TBD	TBD	24"	13 1/2"	12"			
17	1	Double Waffle Maker	Wells Bloomfield	WB-2E	19 3/4"	16 1/8"	8 5/8"		15.0	
18	1	Compact Panini Grill	Waring Commercial	WPG150	14 1/2"	15 1/2"	22"		15.0	
19	1	Wall-Mounted Microwave Shelf	Advance Tabco	MS-24-36	36"	24"	10"			

#### equipment notes

- 1. public health king county inspection required upon completion of work prior to opening.
- no changes shall be made without health department approval.
   contractor to confirm final equipment selections with owner.
- contractor to commit mal equipment selections with owner.
   contractor shall verify and coordinate all quantity and dimensions and notify architect and owner of any discrepancies.
- contractor to review proposed equipment specifications and shall confirm and provide all plumbing, electrical, exhaust, and clearance requirements.contractor to confirm equipment quantity with plan.

#### oor schedule

$\bigcirc$												
	#	Location	Operation	Finish Width	Finish Height	U-Value Max	SHGC Max	Manufacturer	Door Material	Hardware	Door Notes	Comments
-	101 (	Circulation	Swing	3' - 0"	7' - 0"	0.60	0.61	TBD	Wood / Glass	Locking w/ Closer	1, 2, 3, 4	Safety glass.
-	102	Circulation	Folding Glass Door	10' - 6"	7' - 4"	0.40	0.61	Nanawall or approved equal	Aluminum / Glass		3	Verify existing wall size w/ (n) header. Safety glass.
-	103	(n) Restroom	Swing	3' - 0"	7' - 0"	0.37		TBD	Wood	Locking	4	
I	E01	Back of House	Swing	3' - 0"	6' - 8"			TBD	Existing	Existing		Existing to remain.
	F02 I	Back of House	Swing	2' - 6"	6' - 8"			TBD	Existing	Existing		Existing to remain, reframe as required

(n) swing door

#### <u>door notes</u>

- 1. <u>means of egress</u>:
- a. means of egress doors shall be readily distinguishable from adjacent construction and finishes so that the doors are easily recognizable as doors.
- b. min. clear width = 32".
- c. door swing shall be of the pivoted or side hinged swinging type.
- d. the force for pulling or pushing open interior swinging doors shall not exceed 5 pounds (22N). forces shall be applied to the latch side of the door.e. there shall be a level floor or landing on each side of the door that is at the same elevation on each
- side.
  f. egress doors shall be readily openable from the egress side without the use of a key or special effort.
- g. locks and latches shall be permitted to prevent door operation
  h. door handles, pulls, latches, locks & other operating devices on doors req'd to be accessible by
- chapter 11 shall not require tight grasping, tight pinching or twisting of the wrist to operate.

  i. door handles, pulls, latches, locks and other devices shall be installed 34" min and 48" max above
- the finished floor.

  j. manually operated flush bolts or surface bolts are not permitted.
- k. the unlatching of any door or leaf shall not require more than one operation.
- 2. <u>main exterior doors</u>: this door is the main exit and is permitted to comply with SBC 1010.1.9.4, item 2 per exception under SBC 1010.1.10. this door is permitted to be equipped with key-operated locking devices from the egress side. the locking device must be readily distinguishable as locked. a readily visible sign is posted on the egress side on or adjacent to the door stating "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" with 1" high lettering on a contrasting background.

(n) sliding window

back of house

- 3. door to meet 2018 washington state energy code requirements.
- 4. door to be accessible as required by ICC/ANSI A117.1-2009.

# window & storefront schedule

01	Bar	Fixed	3' - 7 1/2"	2' - 9 1/2"	7' - 1 3/4"	Match existing.	0.38	0.61	NFRC certified	Existing opening width, verify in field. Align head height with adjacent windows; align sill with adjacent window to the east. Safe glass.
02	Back of House	Sliding	3' - 2 1/2"	3' - 11 1/2"	7' - 1 3/4"	Match existing.	0.40	0.61	NFRC certified	Replace window in existing opening; verify dimensions in field. Safety glass.
03	Bar	Fixed skylight	3' - 0"	3' - 0"			0.50	0.35	NFRC certified	
$\sim$										
[ ,, ]	1	Circle Is AA	talala   Eta	Carlo I Ladada I	N A - 4! - 1	11 1/-1 NA	CLIO	N A	0 - 410 - 41 - 4	0
#	Location	Finish W	idth Fir	nish Height	Material	U-Value Max	SHGO	C Max	Certification	Replace window in existing eneming: verify dimensions in field
# S1b	Location Seating Area 2			nish Height i' - 5 1/2"	Material	U-Value Max 0.38	SHGC		Certification  NFRC certified	Replace window in existing opening; verify dimensions in field. Safety glass.

(n) fixed window

bar seating

# window & storefront notes

10' - 6"

(102)

(n) folding glass door

all dimensions (including frames and rough openings) shall be field verified prior to

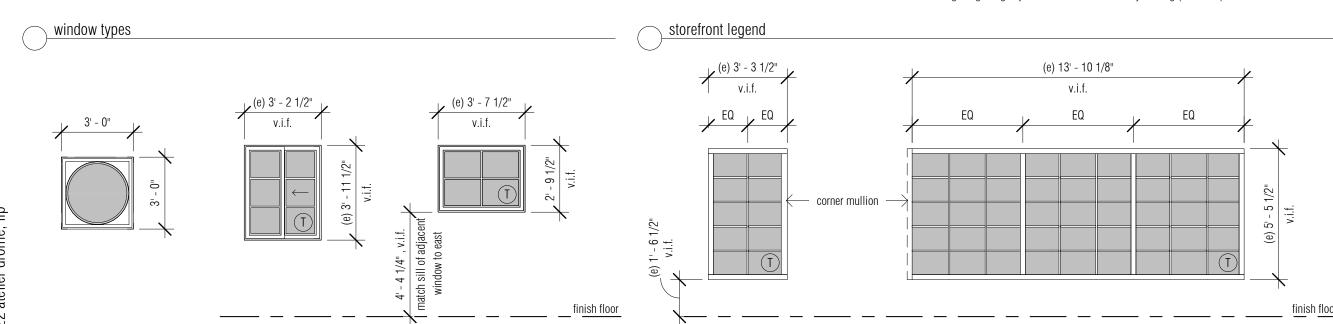
(101)

(n) swing door main entry

- ordering.
  2. provide flashing per manufacturer specifications.
  3. all windows & storefront systems to meet 2018 seattle energy code requirements and shall be NFRC certified. The NFRC Label Certificates for site-fabricated fenestration are required
- to be available to inspectors on site before any portion of the fenestration assembly is installed.
- 4. provide safety glazing as required per SBC 2406.4. a. glazing in swing doors (2406.4.1).
  - glazing adjacent to doors (SBC 2406.4.2). glazing in windows (2406.4.3).
  - the exposed area of an individual pane is greater than 9 sf.
     the bottom edge of the glazing is less than 18 in above the floor.
- 3. the top edge of glazing is greater than 36 in above the floor.4. one or more walking surfaces are within 36 in, measured horizontally in a straight line, of the plane of the glazing.
- d. glazing in guards and railings (2406.4.4).e. glazing and wet surfaces (2406.4.5). *exception:* glazing that is more than 60 in,
- measured horizontally and in a straight line, from the water's edge of a bathtub, hot tub, spa, whirlpool, or swimming pool.

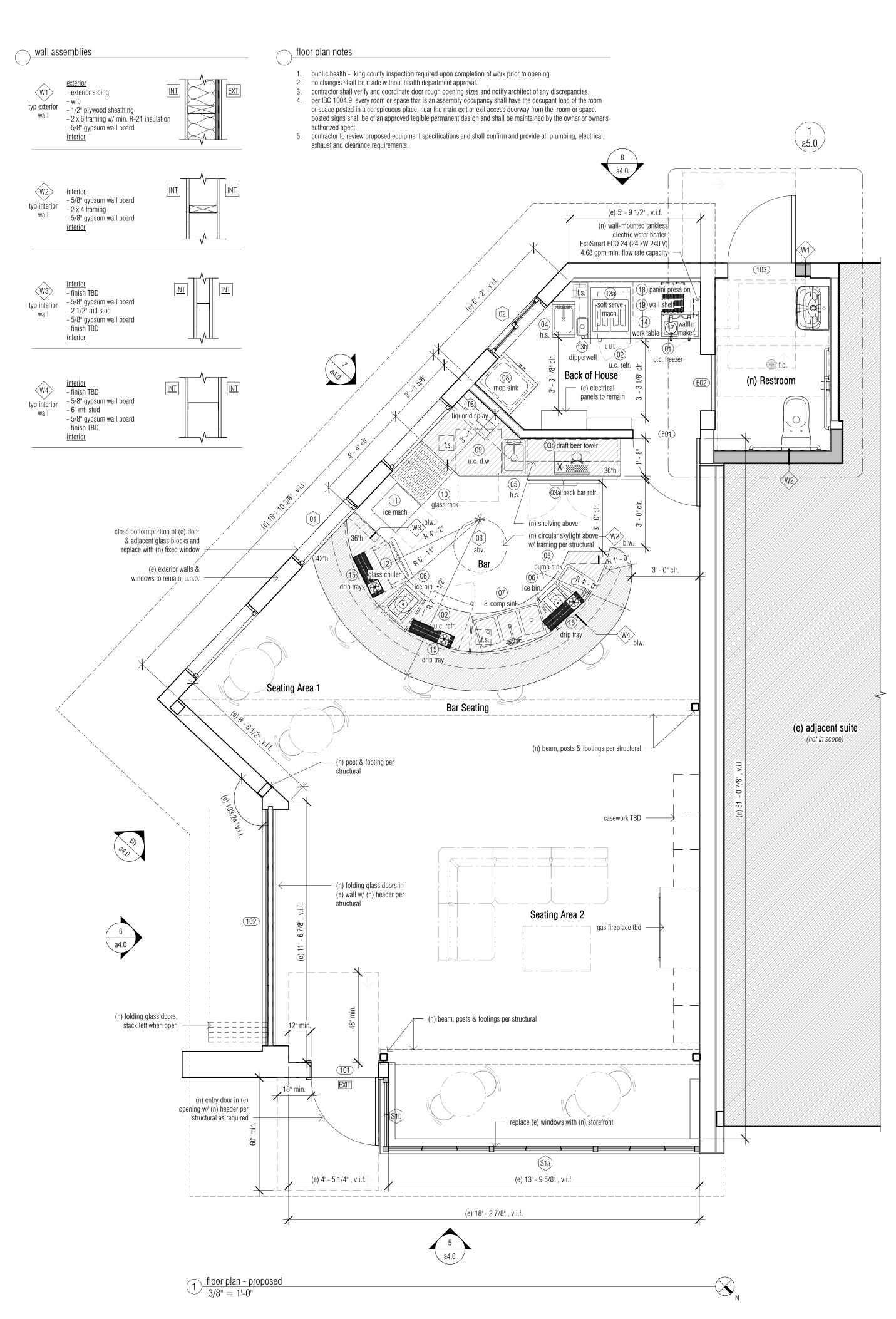
(n) storefront window

glazing adjacent to stairways and ramps (2406.4.6). glazing adjacent to the bottom stairway landing (2406.4.7).

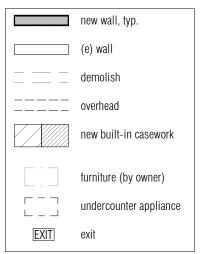


(n) storefront window

Comments



## <u>plan legend</u>





Permit / Design Review Intake



05.05.2022

architecture + interior design

112 prefontaine place s

seattle, wa 98104

www.atelierdrome.com

presubmittal # PRE21-060

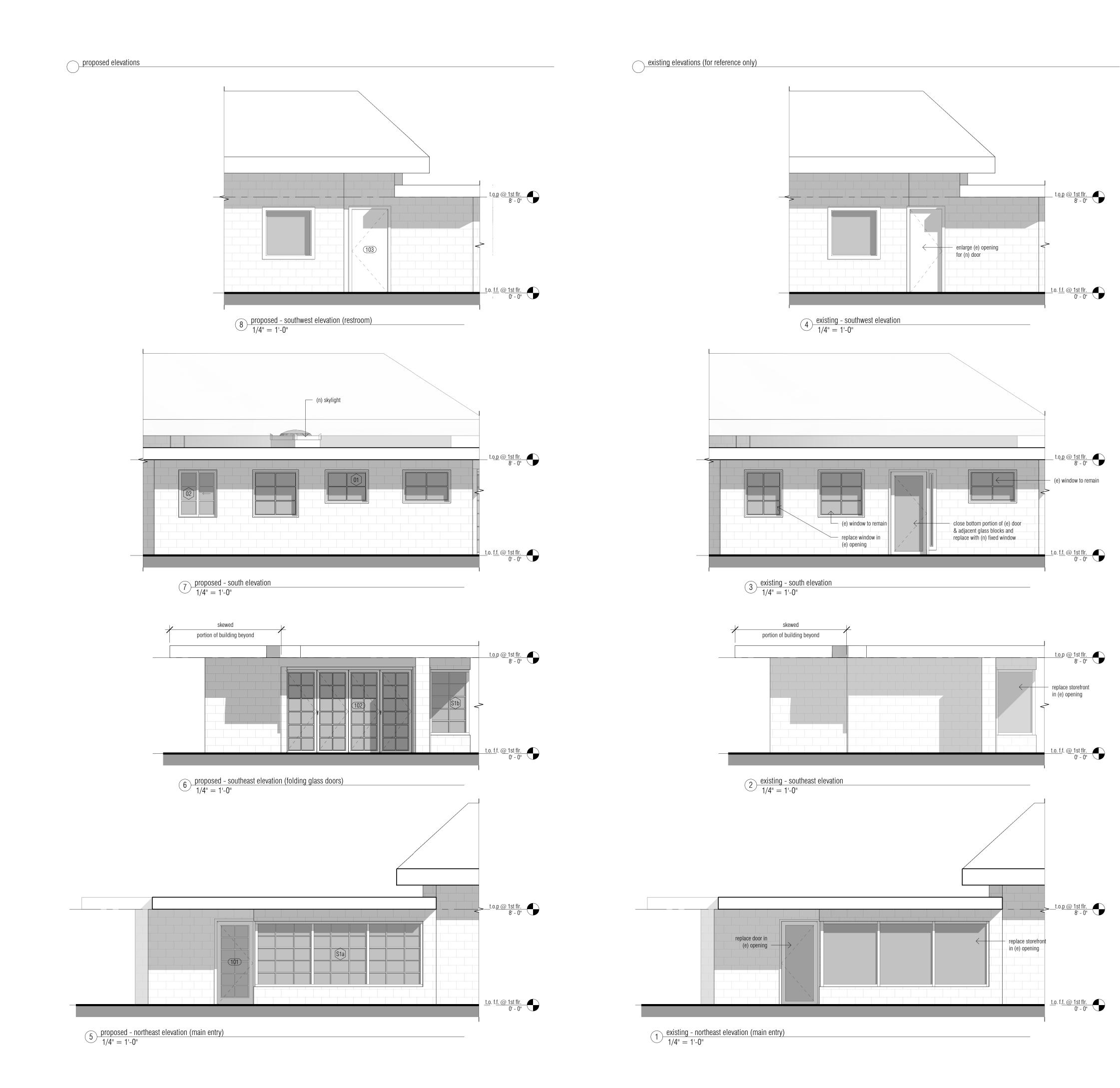
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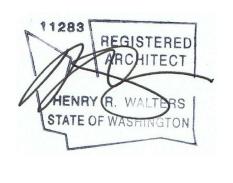
2690 76th Ave SE #101 Mercer Island, WA 98040

a2.1

proposed floor plan & schedules

(n) skylight





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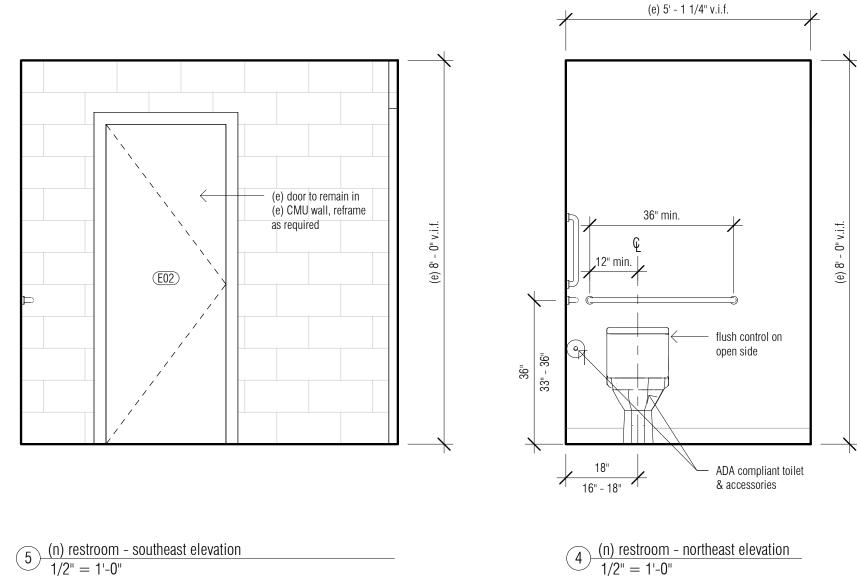
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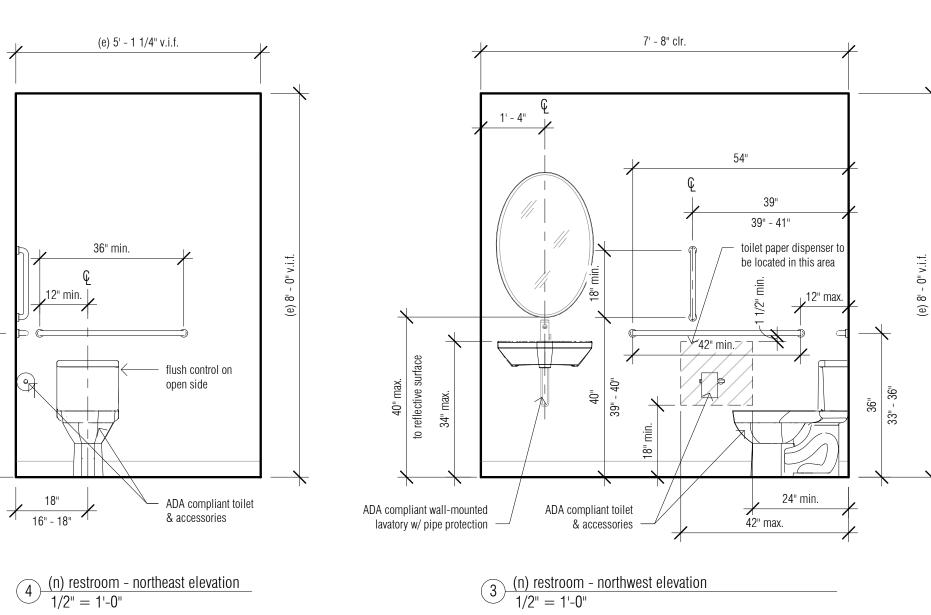
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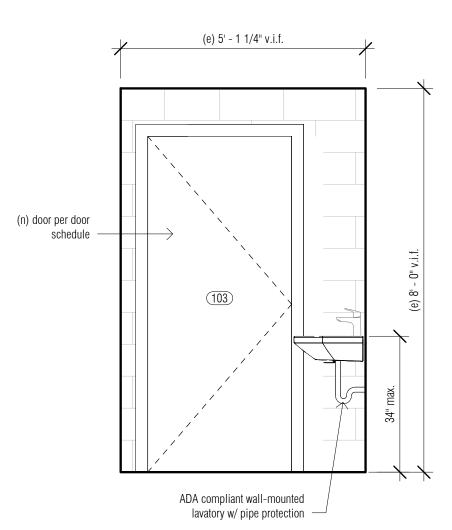
2690 76th Ave SE #101 Mercer Island, WA 98040

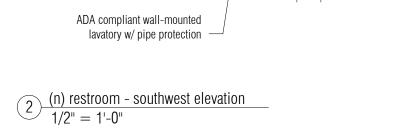
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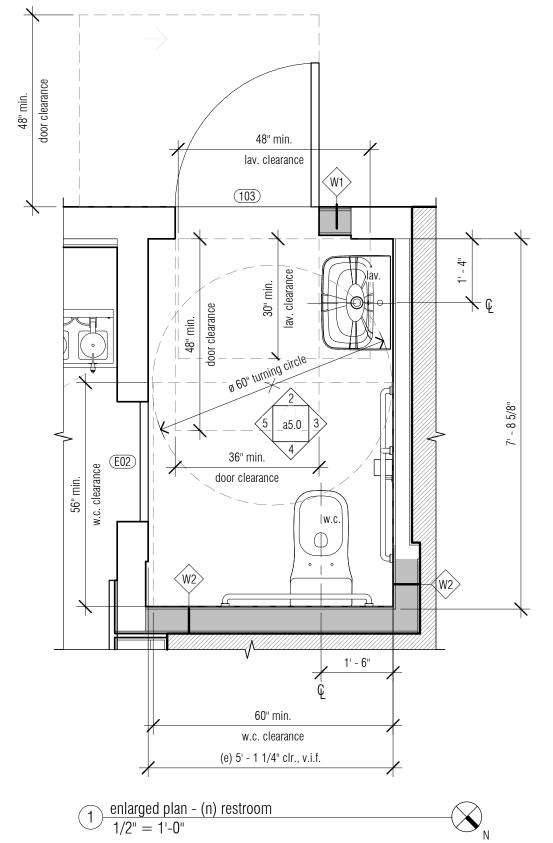
exterior elevations

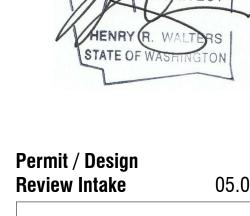












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restroom accessibility

#### THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

#### **CRITERIA**

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS. SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC) 2018 EDITION
- 2. DESIGN LOADING CRITERIA FLOOR LIVE LOAD (STORES - RETAIL FIRST FLOOR) 100 PSF SNOW 25 PSF WIND METHOD - DIRECTIONAL PROCEDURE Kzt=1.0, GCpi=0.18, 110 MPH (RISK CATEGORY II), EXPOSURE "B" ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE EARTHQUAKE

LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS SDC D, SITE CLASS D, Ie=1.0, Ss=1.394, S1=0.485, Sds=1.115, Sd1=NULL, Cs=0.172, R=6.5, SEISMIC DESIGN BASE SHEAR Vsx=4.09 KIPS

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTIONS, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- 5. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION."
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTOR'S WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- 9. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER. MANUFACTURERS INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION FOR THE INSPECTORS USE AND REFERENCE.
- 10.SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

## STRUCTURAL STEEL

CONTRACTOR SHALL SUBMIT WALL ELEVATION DRAWINGS OF AT LEAST 1/8"= 1'-0" SCALE INDICATING LOCATIONS OF CONNECTION EMBEDMENTS AND WALL OPENINGS FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH REINFORCEMENT SHOP DRAWINGS.

APPROVED SETS OF SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING DEPARTMENT AS REQUIRED BY THE JURISDICTION. IF THERE IS A DOUBT WHETHER OR NOT A POST-PERMIT SUBMITTAL IS NECESSARY OR WILL BE ACCEPTED, CONSULT THE BUILDING CODE REVIEWER FOR THE ORIGINAL PERMIT. NO DRAWING SHOULD BE SUBMITTED TO THE BUILDING OFFICIAL THAT STILL BEARS THE DISPOSITION OF "REVISE AND RESUBMIT" OR SIMILAR LANGUAGE.

11.SHOP DRAWING REVIEW OF DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND (1) COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN (2) WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL AS REQUIRED BY THE JURISDICTION.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

# **QUALITY ASSURANCE**

12.SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110, 1704 AND 1705 OF THE IBC BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION SHALL BE PERFORMED.

STRUCTURAL STEEL FABRICATION AND ERECTION

PER AISC 360

# **GEOTECHNICAL**

13.ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE, UNO.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

ALLOWABLE SOIL PRESSURE LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) TRAFFIC SURCHARGE COEFFICIENT OF FRICTION

50 PCF/35 PCF 70 PSF 0.35

1500 PSF

#### CONCRETE

14.CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 318 AND ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3000 PSI. SLUMP OF CONCRETE SHALL NOT EXCEED 6". STRUCTURAL DESIGN IS BASED ON A CONCRETE STRENGTH OF I'C = 2500 PSI, THEREFORE NO CONCRETE STRENGTH TESTING REQUIRED. CONCRETE EXPOSURE CATEGORIES ARE F1, S0, W0, AND C1.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.3.1.

- 15. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, fy = 60 KSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy = 40 KSI. WELDED WIRE WIRE FABRIC SHALL CONFORM TO ASTM A 1064. SPIRAL REINFORCEMENT SHALL BE DEFORMED WIRE CONFORMING TO ASTM A615, GRADE 60, fy = 60 KSI.
- 16.DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #6 AND SMALLER 48 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 48 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

17. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST A	GAINST AND PERMANENTLY EXPOSED	
TO EARTH		3"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER	(#6 BARS OR LARGER)	2"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER	(#5 BARS OR SMALLER)	1-1/2"
COLUMN TIES OR SPIRALS AND BEAM STIRRUPS		1-1/2"
SLABS AND WALLS (INT FACE)	GREATER OF BAR DIAMETER PLUS 1/8"	OR 3/4"

## **ANCHORAGE**

- 18.EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" EPOXY ADHESIVE AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT ESR-2508 AND IAMPO-UES REPORT ER-265. SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH CURRENT ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A36, UNO.
- 19. HEAVY DUTY THREADED CONCRETE ANCHORS SPECIFIED ON THE DRAWINGS SHALL BE "TITEN HD SCREW ANCHOR" AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT ESR-2713 AND ESR-1056, INCLUDING MINIMUM EMBEDMENT AND EDGE DISTANCE REQUIREMENTS. SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH CURRENT ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED.
- 20.EXPANSION BOLTS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "STRONG-BOLT 2" ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT CONFORMANCE TO ICC-ES REPORT ESR-3037 AND IAPMO-UES REPORT ER-240, INCLUDING MINIMUM EMBEDMENT AND EDGE DISTANCE REQUIREMENTS. SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH CURRENT ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED.
- 21. DRIVE PINS AND OTHER POWDER-ACTUATED FASTENERS SHALL BE LOW VELOCITY TYPE (PDPWL-300MG, 0.145" DIAMETER, UNO) AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY OR AN APPROVED EQUIVALENT IN STRENGTH AND EMBEDMENT. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT ESR-2138. MINIMUM EMBEDMENT IN CONCRETE SHALL BE 1", UNO. MAINTAIN AT LEAST 3" TO NEAREST CONCRETE EDGE.

# WOOD

STUDS, PLATES AND MISC FRAMING

22.ALL 2x LUMBER SHALL BE KILN DRIED OR MC-19, AND ALL LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD GRADING RULES FOR WEST COAST LUMBER NO 17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2x AND 3x MEMBERS)	HEM-FIR NO 2 OR SPRUCE-PINE-FIR NO 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4x MEMBERS)	DOUGLAS FIR-LARCH NO 2 MINIMUM BASE VALUE, Fb = 900 PSI
BEAMS	(6x AND LARGER)	DOUGLAS FIR-LARCH NO 2 MINIMUM BASE VALUE, Fb = 875 PSI
POSTS	(4x MEMBERS)	DOUGLAS FIR-LARCH NO 2 MINIMUM BASE VALUE, FC = 1350 PSI
	(6x AND LARGER)	DOUGLAS FIR-LARCH NO 2 MINIMUM BASE VALUE, FC = 600 PSI

23. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA-EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN GLULAM BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2400 PSI, Fv = 265 PSI, E = 1800 KSI, UNO. ALL CANTILEVER GLULAM BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI, E = 1800 KSI, UNO. GLUED LAMINATED COLUMNS SHALL BE DOUGLAS FIR COMBINATION 3, L2D GRADE, Fc = 2300 PSI, Fb = 2000 PSI, E = 1900 KSI.

HEM-FIR NO 2 OR SPRUCE-PINE-FIR NO 2

24.MANUFACTURED LUMBER, PSL, LVL, AND LSL, SHALL BE MANUFACTURED UNDER A PROCESS APPROVED BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL PSL, LVL, AND LSL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH ICC-ES REPORT ESR-1387 USING DOUGLAS FIR VENEER GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. THE MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E)	Fb = 2900 PSI	E = 2000 KSI	Fv = 290 PSI
LVL (2.0E)	Fb = 2600 PSI	E = 2000 KSI	Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI	E = 1550 KSI	Fv = 310 PSI
PSI COLUMN (1.8F)	$F_{C} = 2500 \text{ PSI}$	F = 1800 KSI	$F_V = 190 PSI$

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE TRUS-JOIST CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

- 25.PREFABRICATED PLYWOOD WEB JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE TRUS-JOIST CORPORATION. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH PLYWOOD WEB JOIST PROVIDED.
- 26.PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS-1 OR PS-2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.
  - WALL SHEATHING SHALL BE 7/16" or 1/2" (NOMINAL) WITH SPAN RATING 24/0
  - FLOOR SHEATHING SHALL BE 3/4" T&G (NOMINAL) WITH SPAN RATING 48/24

WATERPROOF DECK SHEATHING SHALL BE 3/4" T&G (NOMINAL) WITH SPAN RATING 48/24

FLAT ROOF SHEATHING SHALL BE 3/4" T&G (NOMINAL) WITH SPAN RATING 48/24

ROOF SHEATHING SHALL BE 1/2" or 7/16" (NOMINAL) WITH SPAN RATING 32/16 FOR ROOFS WITH A PITCH GREATER THAN 2:12

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 27.ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 28. PRESSURE TREATED WOOD (INCLUDES PRESERVATIVE AND FIRE TREATED) SHALL BE TREATED PER AWPA STANDARDS. PRESSURE TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO RETENTION OF 0.25 PCF. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO A RETENTION OF 0.40 PCF. SODIUM BORATE (SBX) TREATED WOOD SHALL NOT BE USED WHERE EXPOSED TO WEATHER. FASTENERS AND TIMBER CONNECTORS WITHOUT AMMONIA IN DIRECT CONTACT WITH ACQ-A TO A RETENTION LEVEL OF 0.40 PCF), CBA-A (UP TO A RETENTION LEVEL OF 0.41 PCF), CA-B (UP TO A RETENTION LEVEL OF 0.21 PCF), SHALL BE G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS WITH AMMONIA IN DIRECT CONTACT WITH ACQ-A (OVER A RETENTION LEVEL OF 0.40 PCF), CBA-A (OVER A RETENTION LEVEL OF 0.41 PCF), CA-B (OVER A RETENTION LEVEL OF 0.21 PCF), OR WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL.
- 29.TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL 2x JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "IUS" SERIES JOIST HANGERS. ALL DOUBLE-JOISTS 34.DEFLECTION OF CANTILEVERS SHALL BE CLOSELY MONITORED BY THE CONTRACTOR DURING BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIU" SERIES JOIST HANGERS.
- WHERE CONNECTOR STRAPS CONNECT (2) MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.
- ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

## 30.WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	TYPE	LENGTH	DIAN
8d	COMMON	2-1/2"	0.131
10d	GUN	3"	0.131
12d	GUN	3-1/4"	0.131
16d	GUN	3-1/2"	0.131

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

- B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG SCREWS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2018 EDITION) WITH A LEAD BORE HOLE OF 60-70% OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS. BOLT HOLES SHALL BE A MINIMUM OF 1/32" TO A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER. HOLES SHALL BE ACCURATELY ALIGNED IN MAIN MEMBERS AND SIDE PLATES/MEMBERS. BOLTS SHALL NOT BE FORCIBLY DRIVEN.
- C. SDS AND SDWS SCREWS CALLED OUT ON PLAN ARE TIMBER SCREWS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. SCREWS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. EQUIVALENT SCREWS BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. LAG SCREWS ARE NOT AN EQUIVALENT SUBSTITUTION.

31.WOOD FRAMING NOTES - THE FOLLOWING APPLY UNLESS NOTED OTHERWISE ON THE PLANS:

- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC, THE AITC "TIMBER CONSTRUCTION MANUAL", AND THE AF&PA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, SHALL CONFORM TO TABLE 2304.10.1. OF THE IBC, UNO. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
- B. WALL FRAMING: REFER TO ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16"oc, UNO. (2)STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. (2)2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS IN STRUCTURAL WALLS, UNO. NAIL MULTI-MEMBER HEADERS WITH (2) ROWS 10d AT 12"oc. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE AND BOTTOM PLATE TO EACH STUD WITH (3) 10d NAILS. FACE NAIL DOUBLE TOP PLATES WITH 10d AT 12"OC AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE (12) 10d NAILS AT 4"OC EACH SIDE OF JOINT. AT TOP PLATE INTERSECTIONS PROVIDE (3) 10d FACE NAILS.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH (2) ROWS OF 12d NAILS AT 16"oc, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS AT 4'-0"oc EMBEDDED 7" MINIMUM, UNO. THERE SHALL BE A MINIMUM OF (2)BOLTS PER PLATE SECTION WITH (1)BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 4-1/2" FROM EACH END OF THE PLATE SECTION. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH (2) ROWS OF 10d AT 16"oc. UNLESS NOTED OTHERWISE, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH #6 x 1-1/4" TYPE S OR W SCREWS AT 12"oc. UNLESS NOTED OTHERWISE, 7/16" OR 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS AT 6"OC AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS AT 12"oc. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS, UNO. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL TIMBER JOISTS TO SUPPORTS WITH (3) 10d NAILS AND NAIL TJI JOISTS TO SUPPORTS WITH (2) 10d NAILS. ATTACH JOISTS TO BEAMS WITH SIMPSON JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH (2) ROWS 10d AT 12"oc. TOENAIL RIM JOIST TO TOP PLATE WITH 10d AT 6"oc. TOENAIL BLOCKING BETWEEN JOISTS TO TOP PLATE WITH (3) 10d NAILS.

UNLESS NOTED OTHERWISE ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS WITH END JOINTS STAGGERED, AND NAILED AT 6"OC WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND AT 12"oc TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 10d AT 12"oc, UNO.

#### 32.NOTCHES AND HOLES IN WOOD FRAMING:

- A. SAWN LUMBER JOISTS AND RAFTERS: NOTCHES AT THE ENDS OF JOISTS SHALL NOT EXCEED 1/4 THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/6 THE JOIST DEPTH, BE LONGER THAN 1/3 THE JOIST DEPTH, OR BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. HOLES SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER SHALL NOT EXCEED 1/3 THE JOIST DEPTH. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2) TIMES THE DIAMETER OF THE LARGEST HOLE OR 2" AND SHALL BE LOCATED A MINIMUM OF 2" FROM ANY
- B. EXTERIOR AND BEARING WALLS: WOOD STUDS ARE PERMITTED TO BE NOTCHED TO A DEPTH NOT EXCEEDING 1/4 OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH IS PERMITTED IN WOOD STUDS. HOLES SHALL NOT BE WITHIN 5/8" TO THE EDGE OF THE STUD. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2) TIMES THE DIAMETER OF THE LARGEST HOLE OR 2" AND SHALL NOT BE LOCATED AT THE SAME SECTION AS A NOTCH.
- C. CUTS, NOTCHES, AND HOLES IN MANUFACTURED LUMBER, PREFABRICATED PLYWOOD WEB JOISTS, AND PREFABRICATED TRUSSES ARE PROHIBITED EXCEPT WHERE NOTED ON STRUCTURAL PLANS OR PERMITTED BY MANUFACTURER'S RECOMMENDATIONS.
- 33.ELECTRICAL, MECHANICAL, PLUMBING, AND DRAINAGE SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE THE DIFFERENTIAL SHRINKAGE OR MOVEMENT OF THE WOOD STRUCTURE (3/8" PER FLOOR).
- CONSTRUCTION. CONTRACTOR TO VERIFY AND ENSURE ALL POST CAPS AND POST BEARING CONDITIONS ARE INSTALLED IN STRICT CONFORMANCE TO THE STRUCTURAL PLANS. CANTILEVERS IN WOOD FRAMING CAN DEFLECT UP TO 1/8" PER FOOT (I.E. 4' CANTILEVER MAY DEFLECT 1/2"). IF DEFLECTION EXCEEDS 1/8" PER FOOT NOTIFY STRUCTURAL ENGINEER IMMEDIATELY. BEFORE FINISHES ARE INSTALLED, FLOORS AT OR ABOVE CANTILEVERS MAY REQUIRE LEVELING COMPOUND AND SOFFITS FURRED TO MAKE THEM LEVEL.

GENERAL STRUCTURAL NOTES CONTINUED ON SHEET \$1.1

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GENERAL STRUCTURAL **NOTES** 

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otted by: robertc otted Date: Apr 13, 2022 - 11:55am GENERAL STRUCTURAL NOTES CONTINUED

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

## RENOVATION

35.CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.

36.CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION AND/OR DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 20 PSF.

37.CONTRACTOR SHALL CHECK FOR DRYROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

38.EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.

- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE.
- B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING, IF POSSIBLE.
- D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWELS EPOXY GROUTED INTO EXISTING CONCRETE SHALL BE PROVIDED TO MATCH HORIZONTAL REINFORCING, UNO.

39.ALL EXTERIOR MASONRY WALLS SHALL BE INSPECTED AND REPAIRED AS FOLLOWS: SCRAPE ALL LOOSE AND WEAKENED MORTAR OUT TO FULL DEPTH OF THE DETERIORATION; REMOVE AND REPLACE ANY LOOSE MASONRY UNITS; CHECK FOR LOOSE FACING BRICK VENEERS; TUCK POINT ALL JOINTS SOLID. ALL MASONRY RESTORATION AND REPAIR SHALL BE PERFORMED IN SUCH A MANNER THAT THE EXISTING STRUCTURE IS NOT WEAKENED OR LEFT UNSUPPORTED DURING THE PROCESS OF THE WORK. ALL EXTERIOR APPENDAGES SUCH AS FIRE ESCAPES, CORNICES AND EYEBROWS SHALL BE INSPECTED FOR STRUCTURAL INTEGRITY AND THE CONDITION OF THE CONNECTIONS TO THE STRUCTURE. THE CONTRACTOR SHALL PROVIDE THE STRUCTURAL ENGINEER WITH THE RESULTS OF THE INSPECTION.

# STEEL

- 40. WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI. HP SHAPES SHALL CONFORM TO ASTM A572 GRADE 50, Fy = 50 KSI. OTHER ROLLED SHAPES INCLUDING PLATES, SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STRUCTURAL PIPE SHALL CONFORM TO ASTM A53 GRADE B, Fy = 35 KSI. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE C, Fy = 50 KSI (SQUARE AND RECTANGULAR), Fy = 46 KSI (ROUND). CONNECTION BOLTS SHALL CONFORM TO ASTM F3125 GRADE A325, UNO.
- 41.ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- 42.ALL A325 CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A PERSON USING AN ORDINARY SPUD WRENCH.
- 43.ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES(F) AND 40 FT-LBS AT 70 DEGREES(F), AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.



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# ABBREVIATIONS

±	PLUS OR MINUS	GL	GLUE LAMINATED	OSB	ORIENTED STRAND
Ø	DIAMETER		TIMBER		BOARD
AB	ANCHOR BOLT	GR	GRADE	PLF	POUNDS PER LINEAR
ADDL	ADDITIONAL	GT	GIRDER TRUSS		FOOT
ALT	ALTERNATE	GWB	GYPSUM WALLBOARD	PLY	PLYWOOD
APPROX	APPROXIMATE	HD	HOLDOWN	PREFAB	PREFABRICATED
ARCH	ARCHITECT,	HDR	HEADER	PSF	POUNDS PER
	ARCHITECTURAL	HF	HEM FIR		SQUARE FOOT
BLKG	BLOCKING	HGR	HANGER	PSI	POUNDS PER
BM	BEAM	HM	HIP MASTER		SQUARE INCH
BOE	BOTTOM OF	HORIZ	HORIZONTAL	PSL	PARALLEL STRAND
	EXCAVATION	HT	HEIGHT		LUMBER
ВОТ	BOTTOM	IBC	INTERNATIONAL	PT	PRESSURE TREATED
Ç	CENTERLINE		BUILDING CODE		LUMBER
ČLR	CLEARANCE	INT	INTERIOR	REINF	REINFORCING
CONT	CONTINUOUS	IRC	INTERNATIONAL	REQD	REQUIRED
DBL	DOUBLE		RESIDENTIAL CODE	SOG	SLAB ON GRADE
DF	DOUGLAS FIR	JST	JOIST	SQ	SQUARE
DP	DEEP, DEPTH	K	KIPS (1000 LBS)	STD	STANDARD
DN	DOWN	KP	KING POST	SW	SHEARWALL
OS	DRAG STRUT	L	LENGTH	T&G	TONGUE AND GROOVE
DWGS	DRAWINGS	LBS	POUNDS	THRD	THREADED
(E)	EXISTING	LONG	LONGITUDINAL	TPL	TRIPLE
-, EA	EACH	LSL	LAMINATED	TRANSV	TRANSVERSE
EMBED	EMBEDMENT		STRUCTURAL LUMBER	TYP	TYPICAL
EQ	EQUAL	LVL	LAMINATED VENEER	UNO	UNLESS NOTED
EQUIV	EQUIVALENT		LUMBER	-	OTHERWISE
EW	EACH WAY	MAX	MAXIMUM	VERT	VERTICAL
EXP	EXPANSION	MB	MACHINE BOLT	W	WIDE OR WIDTH
ΞΧΤ	EXTERIOR	MFR	MANUFACTURER	w/	WITH
FDN	FOUNDATION	MIN	MINIMIM	w/o	WITHOUT
FRMG	FRAMING	MISC	MISCELLANEOUS	WHS	WELDED HEADED
FT	FEET	NO	NUMBER		STUD
FTG	FOOTING	NTS	NOT TO SCALE	WTS	WELDED THREADED
GA .	GAUGE	OC	ON CENTER		STUD
GALV	GALVANIZED	OPP	OPPOSITE	WWM	WELDED WIRE MESH
		-			



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GENERAL STRUCTURAL NOTES

S1.1

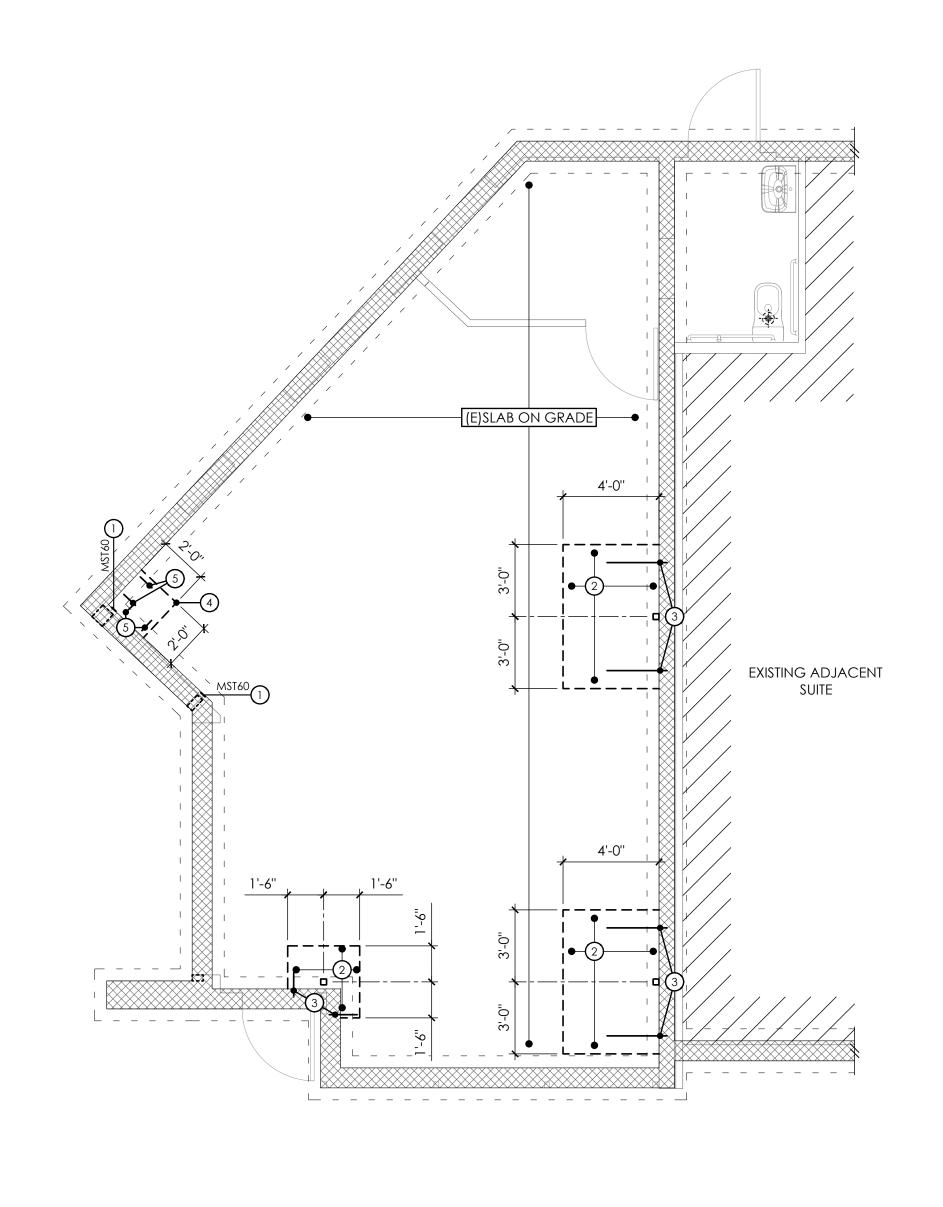
FIRST FLOOR WALLS SHOWN DASHED

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FOUNDATION PLAN

SCALE - 1/4" = 1'-0"



1. REFER TO SHEET \$3.0 FOR TYPICAL FOUNDATION AND CONCRETE DETAILS.

PLAN NOTES

2. REFER TO GENERAL STRUCTURAL NOTES SHEET \$1.0 FOR ADDITIONAL REQUIREMENTS.

3. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

LEGEND (E)CONCRETE WALL BELOW STRUCTURAL WALL ABOVE (E)STRUCTURAL WALL ABOVE

PLUMBING PENETRATION ABOVE

INSTALL HOLDOWN STRAP MIN 24" TO RIPPED POST AND ATTACH TO INTERIOR FACE OF EXISTING STEMWALL PER DETAIL 4/S3.0 - CONTRACTOR TO VERIFY EXISTING STEMWALL WIDTH

2 12" THICKENED INTERIOR SLAB FOOTING w/ #4 AT 6"oc TOP AND BOT

(3) #4 x 2'-6" DOWELS TO MATCH FOOTING REINFORCEMENT - EPOXY GROUT EMBED 4" MIN INTO (E)STEMWALL W/ SIMPSON SET-XP OR AT-XP. NO SPECIAL INSPECTION REQUIRED

4) 12" DEEP INTERIOR FOOTING W/ #4 AT 6"OC TOP AND BOT

**FOOTNOTES** 

 $^{(5)}$  #4 x 2'-6" DOWELS TO MATCH FOOTING REINFORCEMENT - EPOXY GROUT EMBED 4" MIN INTO (E) FOOTING W/ SIMPSON SET-XP OR AT-XP. NO SPECIAL INSPECTION REQUIRED

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 ALL REQUIRED HEADERS ARE SHOWN ON PLAN AND SHALL BE (2)2x8, UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.

- PROVIDE (2)BEARING (TRIMMER) STUDS AT EACH END OF ALL HEADERS AND BEAMS 6'-0" IN LENGTH AND OVER, UNO.
   TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS, UNO.
- 5. REFER TO SHEET \$4.0 FOR TYPICAL WOOD FRAMING DETAILS.

PLAN NOTES

- 6. REFER TO GENERAL STRUCTURAL NOTES SHEET \$1.0 FOR ADDITIONAL REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

(E)CMU WALL

(E)STRUCTURAL WALL BELOW

(E)SPAN AND EXTENTS

NEW HEADER/BEAM BELOW FRAMING - TYP

NUMBER OF BUILT UP STUDS

LEGEND

(E)HDR

(E)HDR

PSL 7x7 - TOP CONNECTION PER 6/S4.0
- POST TO BEAR DIRECTLY ON FOUINDATION
W/ (2)LAYERS OF BUILDING PAPER AND
(2)A35 TO BOT PLATE

① CONTRACTOR TO ALIGN BEAM WITH CENTERLINE OF RAFTER SPLICE

2 RIPPED POST TO BE FLUSH WITH EXISTING STEMWALL - CONTRACTOR TO VERIFY STEMWALL WIDTH

3 SISTER BEAMS w/ (2)0.22"Ø x 3" SDWS SCREWS AT 24"oc

**FOOTNOTES** 

FIRST FLOOR WALLS SHOWN SOLID

ROOF FRAMING PLAN

)

PROJECT NO 0401.2022.04.01
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ROOF FRAMING

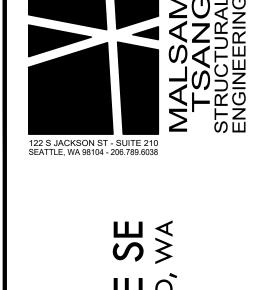
PLAN

S2.2



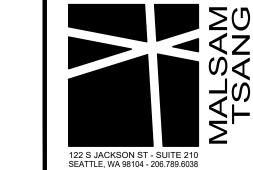
- 1/8" x 1-1/2" PRE-MOLDED

SEE PLAN FOR SLAB —













PANEL EDGE TOP PLATE CONNECTION BASE PLATE CONNECTION SHEATHING MARK RIM/BEAM®® AT WOOD NAILING TJI/2xAT CONCRETE SW6 1/2" PLY or 7/16" OSB 8d AT 6"oc 10d AT 6"oc A35 AT 30"oc 12d AT 6"oc 5/8"Ø AB AT 48"oc 1/2" PLY or 7/16" OSB SW4 8d AT 4"oc 10d AT 4"oc A35 AT 18"oc 12d AT 4"oc 5/8"Ø AB AT 42"oc SW3 4 1/2" PLY or 7/16" OSB 8d AT 3"oc (2)ROWS 10d AT 6"oc A35 AT 16"oc (2) ROWS 12d AT 6"oc 5/8"Ø AB AT 36"oc SW2 4 1/2" PLY or 7/16" OSB 8d AT 2"oc (2)ROWS 10d AT 4"oc A35 AT 12"oc (2) ROWS 12d AT 4"oc 5/8"Ø AB AT 24"oc

① BLOCK PANEL EDGES WITH 2x4 LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d AT 12"oc. ② 8d NAILS SHALL BE 0.131"Ø x 2-1/2", 10d NAILS SHALL BE 0.131"Ø x 3", AND 12d NAILS SHALL BE 0.131"Ø x 3-1/4".

③ EMBED CAST IN PLACE ANCHOR BOLTS AT LEAST 7". EPOXY EMBED POST INSTALLED 5/8"Ø THREADED ROD 5" MIN w/ SET-XP OR USE 5/8"Ø x 8" TITEN HD SCREWS, UNO. ALL BOLTS SHALL HAVE 3" x 3" x 0.229" PLATE WASHERS. WASHERS. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING.

4 3x STUDS OR DBL STUDS NAILED TOGETHER W/ 10d NAILING IS REQD AT ABUTTING PANEL EDGES OF SW3, AND SW2. REFER TO DETAIL C. WHERE 3x STUDS ARE USED, STAGGER NAILS AT ADJOINING PANEL EDGES.

⑤ TWO STUDS MINIMUM OR POST PER PLAN ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END

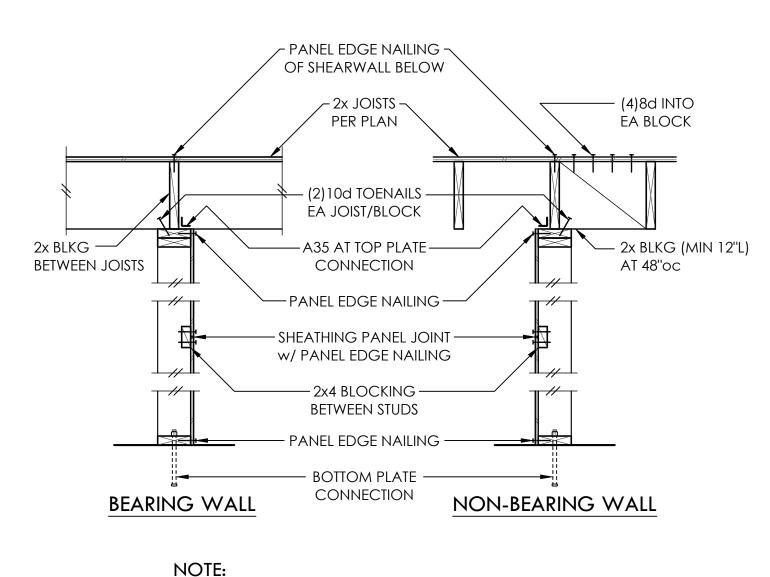
(a) ALL NEW EXTERIOR WALLS SHALL BE SW6, UNLESS NOTED OTHERWISE.

② NAILS SHALL NOT BE SPACED LESS THAN 3/8" FROM EDGES OF SHEATHING. SHEATHING NAILS SHALL BE DRIVEN SO THEIR HEADS ARE FLUSH WITH SHEATHING (NOT COUNTERSUNK).

CONTRACTORS OPTION.

② A35's OR LTP4's MAY BE ELIMINATED PER DETAIL A OR DETAIL B.

STUDS SHALL RECEIVE PANEL EDGE NAILING.



SCALE: 1-1/2'' = 1'-0''TYPICAL SHEARWALL INTERSECTIONS

- SHEARWALL PER PLAN

— SHEARWALL PER PLAN

- SHEARWALL PER PLAN

SHEARWALL PER PLAN

---- SHEARWALL PER PLAN

1) PANEL EDGE NAILING PER

SHEARWALL SCHEDULE

(2) 10d NAILING PER SHEARWALL

(3) 10d NAILING PER SHEARWALL

NON-SHEARWALLS

SCHEDULE OF HIGHER CAPACITY

SHEARWALL or 10d AT 12"oc AT

SCHEDULE

SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, UNO

- 1/4" PLATE

· (6)1/4"Ø x 3-1/2"

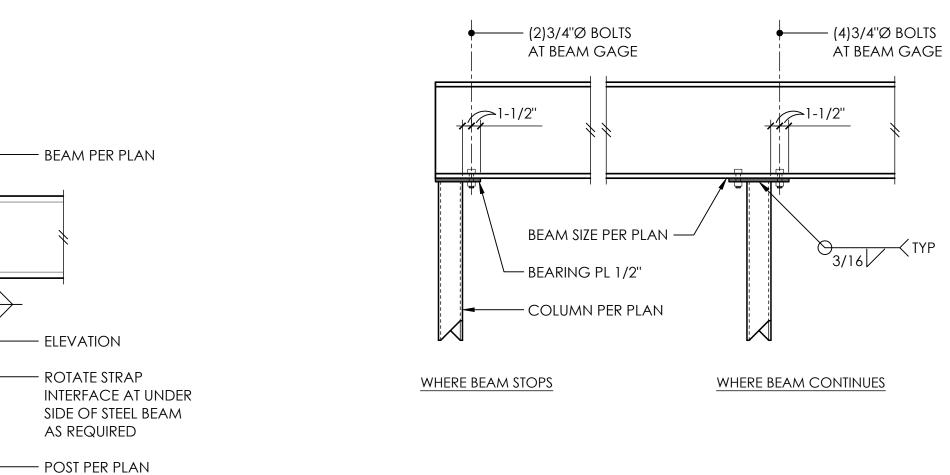
BEAM TO BEAR -

DIRECTLY ON

ROTATED POST

**ELEVATION** SCALE: 1-1/2" = 1'-0" SDS SCREWS

TYPICAL SHEARWALL CONSTRUCTION



— RIM JOIST OR BEAM

PANEL EDGE

- CONT SHEATHING

BETWEEN RIM AND

AND WALL BELOW

-10d NAILING

2x NAILER

SHEATHING EDGE

- EDGE NAILING

OVER EA STUD

- 10d NAILING

PER SCHEDULE

PER SCHEDULE

NAILING

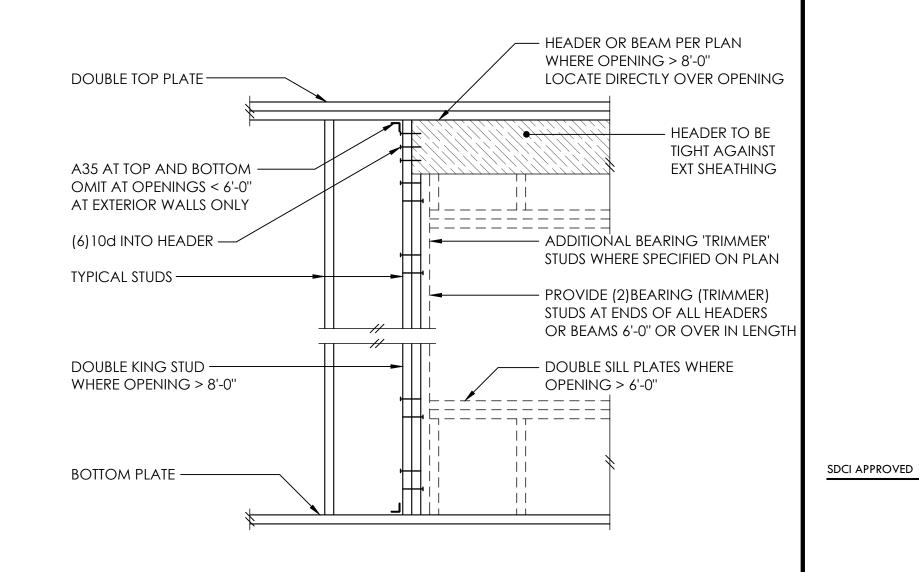
DETAIL A

DETAIL B

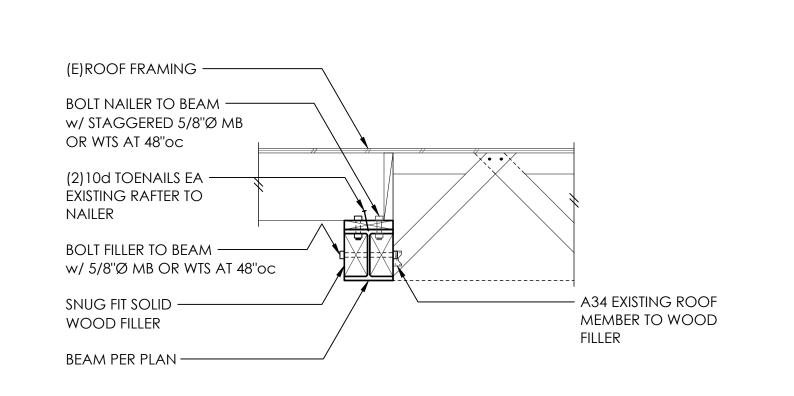
DETAIL C

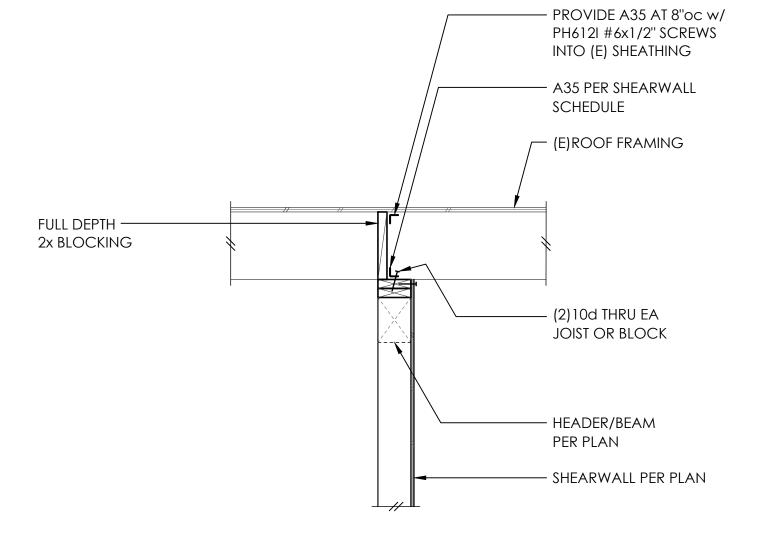
PLAN VIEW AT ABUTTING PANEL EDGES OF SW3 AND SW2

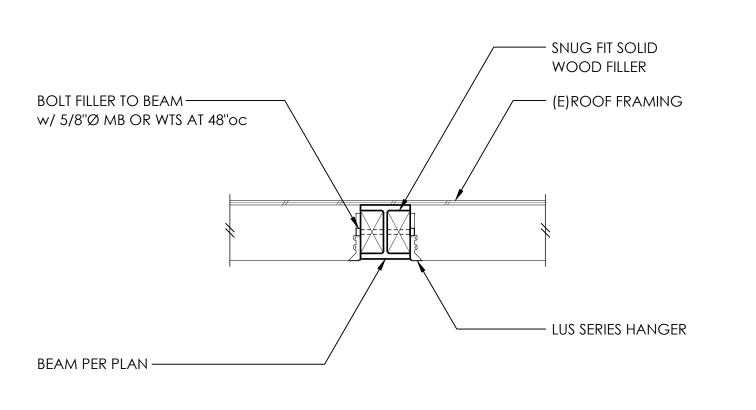
NOTE BEARING PLATE THICKNESS SHALL BE 3/4" WHERE DEPTH OF SUPPORTED MEMBER EXCEEDS 24"



TYPICAL HEADER SUPPORT







PROJECT MANAGER DRAWN ENGINEER BLAKE RASSILYER 206.602.5452 BLAKER@MALSAM-TSANG.COM REV DESCRIPTION 4.13.22 PERMIT SET

ATELIER DROME

TYPICAL WOOD FRAMING DETAILS

206.395.4392

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